

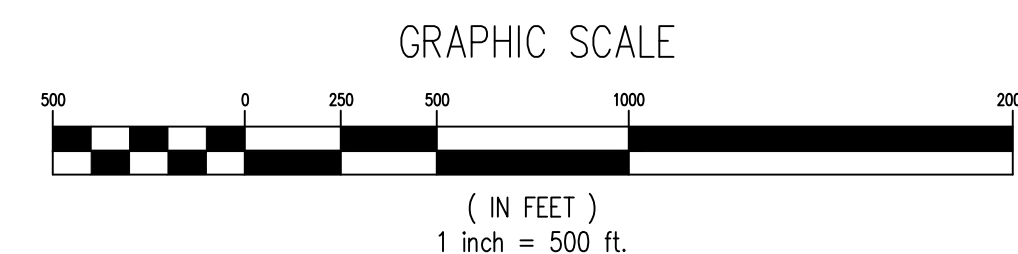
NITTANY CASINO

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

COLLEGE TOWNSHIP * CENTRE * PENNSYLVANIA

JULY 12, 2021

LAST REVISED: AUGUST 3, 2021



PennTerra
ENGINEERING, INC.

**CENTRAL PENNSYLVANIA
REGION OFFICE:**
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

**LANCASTER
REGION OFFICE:**
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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**ACT 287 UTILITY INFORMATION
(SERIAL NUMBER: 20210673084)**

SANITARY SEWER
UNIVERSITY AREA JOINT AUTHORITY
1576 SPRING VALLEY ROAD
STATE COLLEGE, PA 16801
PHONE: (814) 238-9662

PUBLIC WATER
COLLEGE TOWNSHIP WATER AUTHORITY
1481 EAST COLLEGE AVENUE, STATE COLLEGE PA 16801
STATE COLLEGE, PA 16801
PHONE: (814) 238-0885

NATURAL GAS
COLUMBIA GAS OF PENNSYLVANIA
2550 CAROLEAN INDUSTRIAL DRIVE
STATE COLLEGE, PA 16801
PHONE: (814) 238-6775

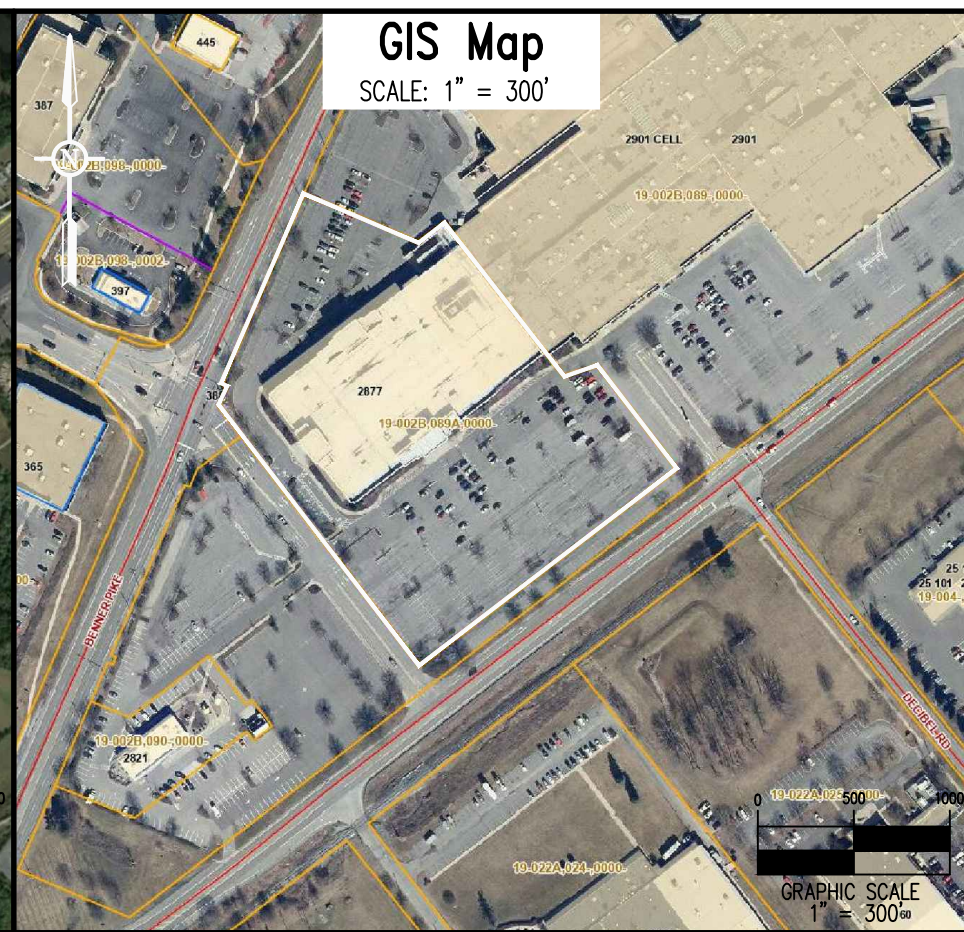
ELECTRIC
WEST PENN POWER COMPANY
2800 EAST COLLEGE AVENUE
STATE COLLEGE, PA 16801
PHONE: (814) 237-5721

TELEPHONE
VERIZON
224 SOUTH ALLEN STREET
STATE COLLEGE, PA 16801
PHONE: (814) 231-6511

CABLE TELEVISION
COMCAST
60 DECIBEL ROAD
STATE COLLEGE, PA 16801
PHONE: (800) 992-3515

STORMWATER
COLLEGE TOWNSHIP
1481 EAST COLLEGE AVENUE, STATE COLLEGE PA 16801
STATE COLLEGE, PA 16801
PHONE: (814) 231-3021

BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA 1 CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY



Project Notes:

- General Site Information:
 - Owner of Record: 2901 ECA Associates LLC, 2929 Walnut Street, Suite 1550 Philadelphia, PA 19104, Record Book 2269, Page 147
 - Tax Parcel No.: 19-002B-89A
 - Zoning: Commercial (C-1) in the Corridor Overlay District
 - Site Use: Existing/Previous: Shopping Center, Proposed: Gaming Establishment
 - Site Area: 7.274 Acs., 316,864 SF (Ex. Building Area: 94,766 S.F.)
 - Building Setbacks: (C-1) Front-50' Sides-15' Rear-50'
- ACT 287 Utility Information: All utility locations should be verified prior to any construction, utility information and locations should be considered approximate. Contractor shall notify PA One Call prior to any excavation. Telephone: Verizon Facilities Management Center, 224 South Allen Street, State College, PA 16801 - Phone: 814-231-6511

Parking Calculation Table						
Tax Parcel	Provided			Required (Based on 1 Stall per 300 SF G.F.A.)		
	Regular Stalls	Handicap Stalls	Total Stalls	Regular Stalls	Handicap Stalls	Total Stalls
19-002B-89A	405	20	425	316	13	329

Density Calculation Table			
Tax Parcel	Lot Size	Lot Coverage (Existing)	Lot Coverage (Proposed)
19-002B-89A	316,864 S.F.	Existing: 292,997 S.F. (92.47%)	Proposed: 283,794 S.F. (89.56%)

EXISTING CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	12.44'	2901.65'	6.22'	N 27° 47' 10" E	12.44'	0° 14' 44"

EXISTING LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 26° 38' 55" E	35.57'
L2	N 62° 20' 12" W	9.37'
L3	S 62° 13' 40" E	29.73'
L4	S 68° 16' 02" E	24.13'
L5	S 56° 30' 20" W	54.83'
L6	N 76° 38' 38" E	58.46'
L7	N 35° 44' 09" W	61.26'

STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN:

All stormwater management facilities on the site of Nittany Casino not contained in a College Township Right-of-Way shall be owned and maintained by 2901 ECA Associates LLC. College Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

College Township and/or the Centre County Conservation District may require 2901 ECA Associates LLC to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. 2901 ECA Associates LLC shall immediately notify College Township and Centre County Conservation District prior to initiating any major repair activities.

2901 ECA Associates LLC hereby acknowledges College Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. 2901 ECA Associates LLC acknowledges College Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by College Township shall be at the expense of 2901 ECA Associates LLC.

The facilities that will require maintenance are the inlets, storm sewer pipes, rip-rap aprons, swales and infiltration basins. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- The Infiltration Rain Garden Island structures and storm sewer pipes shall be cleaned of all debris, litter, and other deleterious material.
- If the proposed Infiltration Rain Garden Islands do not infiltrate all captured volume within 72 hours after a storm event, the College Township Engineer has the right to require these facilities be restored/repared to proper functioning as originally designed and approved. The Project's Civil and Geotechnical Professionals shall be immediately consulted to evaluate the conditions.

Owner's Certification

State of _____
County of _____

On this _____ day of _____, 20____

personally appeared before me and certified that they were the owners of the properties shown on this plan and acknowledge the same to be their act and plan and designs, the same to be recorded as such, according to the law.

witness my hand and seal, this date _____

LANDSCAPING NOTE:
NOT ALL PROPOSED OR EXISTING (TO REMAIN) LANDSCAPING IS SHOWN ON THIS SHEET. REFER TO SHEET 17 - OVERALL LANDSCAPING PLAN FOR ALL LANDSCAPING, INCLUDING BUFFER YARD IMPROVEMENTS AND DETAIL OF THE OVER THIRTY ADDED PARKING LANDSCAPING ISLANDS INCLUDING THE RAIN GARDEN ISLANDS.

NOTE:
PER A LICENSE AND RECIPROCAL AGREEMENT 53 STALLS FROM LOT 4, BUT WITHIN THE 'APPARENT' NITTANY CASINO AREA WILL BE UPGRADED/IMPROVED TO COMPLY WITH COLLEGE TOWNSHIP ORDINANCES AND WILL BE CONSIDERED PART OF THE 'LOT' USABLE STALLS PER AT LEAST THE PENNSYLVANIA GAMING BOARD. THESE STALL COUNTS ARE INCLUDED IN THE 'TOTAL STALLS'.

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

- Site References:
 - Nittany Mall Master Development Plan, dated May 22, 1988.
 - Nittany Mall Master Development Plan, dated Nov. 21, 1988.
 - Nittany Mall - Sears Service Center - Minor Plan For The Relocation Of The Sears Service Center & TBA, prepared by PennTerra Engineering, Inc., dated January 19, 1998, and recorded in Centre County Plat Book 55, Pages 118-119, on March 31, 1998.
 - Project Narrative, Nittany Mall Expansion, Kauffmann's Department Store, prepared by PennTerra Engineering, Inc. dated March 9, 1998.
 - Preliminary & Final Land Development Plan, Nittany Mall Expansion, Kauffmann's Department Store, prepared by PennTerra Engineering, Inc. dated January 19, 1998, and recorded in Centre County Plat Book 56, Pages 113-114 on July 28, 1998.
 - Alto Survey, Nittany Mall Expansion, dated June 22, 1998, prepared by PennTerra Engineering, Inc., and on file at Crown American Properties, L.P., Pasquerilla Plaza, Johnstown, Pa. 15907-0879.
- Contours shown are based on U.S.G.S. Datum and field verified.
- Manmade Items Within The Building Setback Area Include The Following: Storm drain inlets, light poles, fire hydrant, sanitary manholes, utility poles, retaining wall, utility facilities, trees & traffic signage.
- SITE BENCHMARK: X-Cut Bolt over the large opening in the Existing Fire Hydrant located on the South side of Shiloh Road near the common property corner of Krentzman Supply Co. and the Nittany Mall (ELEV.=1120.72)
- Utility easements shown are based upon previous development plans and have not been verified through a title search.
- The previous Reciprocal Easement Agreement (REA) for the property dated July 23, 1998 and recorded RB 1022, PG 844 has been terminated and has been replaced with a new Declaration of Easements, Covenants and Restrictions (ECR) RB 2269 PG 144.
- Additional Requirements for Gaming Establishments. In addition to all other zoning, subdivision and land development regulations specified within the College Township Code, all Gaming Establishments shall meet the following additional regulations:
 - All storage and displays shall be located within the building.
 - All business transactions on the premises shall be conducted within the building.
 - All new construction shall be consistent with the scale and architectural styles of the buildings surrounding the site proposed for a gaming establishment. The existing building (former Macy's) is being used with minimal exterior improvements and will conform to the Architecture of the remaining of the Nittany Mall.

- General requirements.
 - All loading, trash collection and storage areas shall be located and oriented on the site as inconspicuous as possible. They shall be screened from all adjoining properties and public roads.
 - The trash area for the Casino is located behind an existing wall; lowered in elevation from the roadway (Benner Pike).
 - Building and plant materials should be altered, combined and or varied to achieve a pleasing effect.
 - Varying plantings have been included to add landscaping throughout the plan.
 - All landscaped areas shall be properly maintained. Shrubs or trees which die shall be replaced within one growing season. The developer acknowledged this with note of replacement of landscaping as applicable.
- Locational requirements. No gaming establishment shall be located within 1,000 feet of the following:
 - Residential district boundary;
 - Any building containing a residential use in a zone not defined as a residential zone in § 200-8;
 - Lot line of any church or other place of worship;
 - Lot line of any school; and/or
 - Lot line of any public park.
 The NITTANY CASINO is not located within 1,000 feet of the above uses.

- Landscaping and buffering. All gaming establishments shall apply the following landscaping and buffering requirements in addition to those required elsewhere in this chapter as follows:

LANDSCAPING NARRATIVE:

 - The planned Nittany Casino landscaping additions shall include additional trees and shrubs planted in view with the East College Avenue & the Benner Pike as allowed by PennDOT. The tree and shrub plantings along the building shall also remain except in areas that the Casino use is updated, i.e. Entrance Canopy in which the entire East College Avenue landscaping islands and parking will be improved & the Sally Port which a wall will be constructed to soften the building architectural view and provide secure operations.
 - All loading, trash collection and storage areas shall be located and oriented on the site as inconspicuous as possible. They shall be screened from all adjoining properties and public roads.
 - The trash area for the Casino is located behind an existing wall; lowered in elevation from the roadway (Benner Pike).
 - Building and plant materials should be altered, combined and or varied to achieve a pleasing effect.
 - Varying plantings have been included to add landscaping throughout the plan.
 - All landscaped areas shall be properly maintained. Shrubs or trees which die shall be replaced within one growing season. The developer acknowledged this with note of replacement of landscaping as applicable.

- All boundaries of a lot in which a gaming establishment is sited shall be buffered from adjoining property owners. Buffer yards shall consist of small deciduous trees, deciduous canopy trees and evergreen and deciduous shrubs. The developer shall plant and maintain the following number of plants per 100 linear feet of buffer yard based upon the width of the proposed buffer yard.

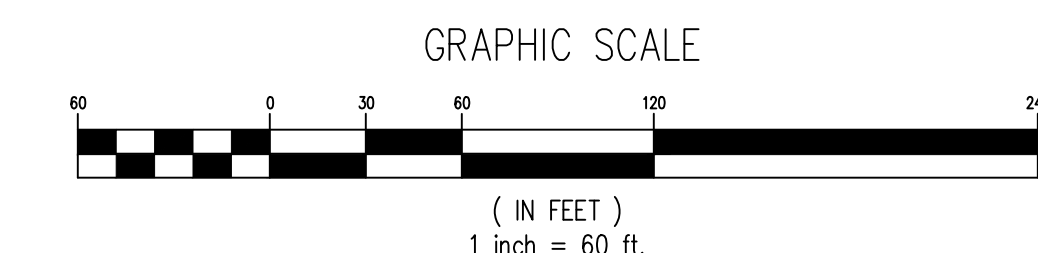
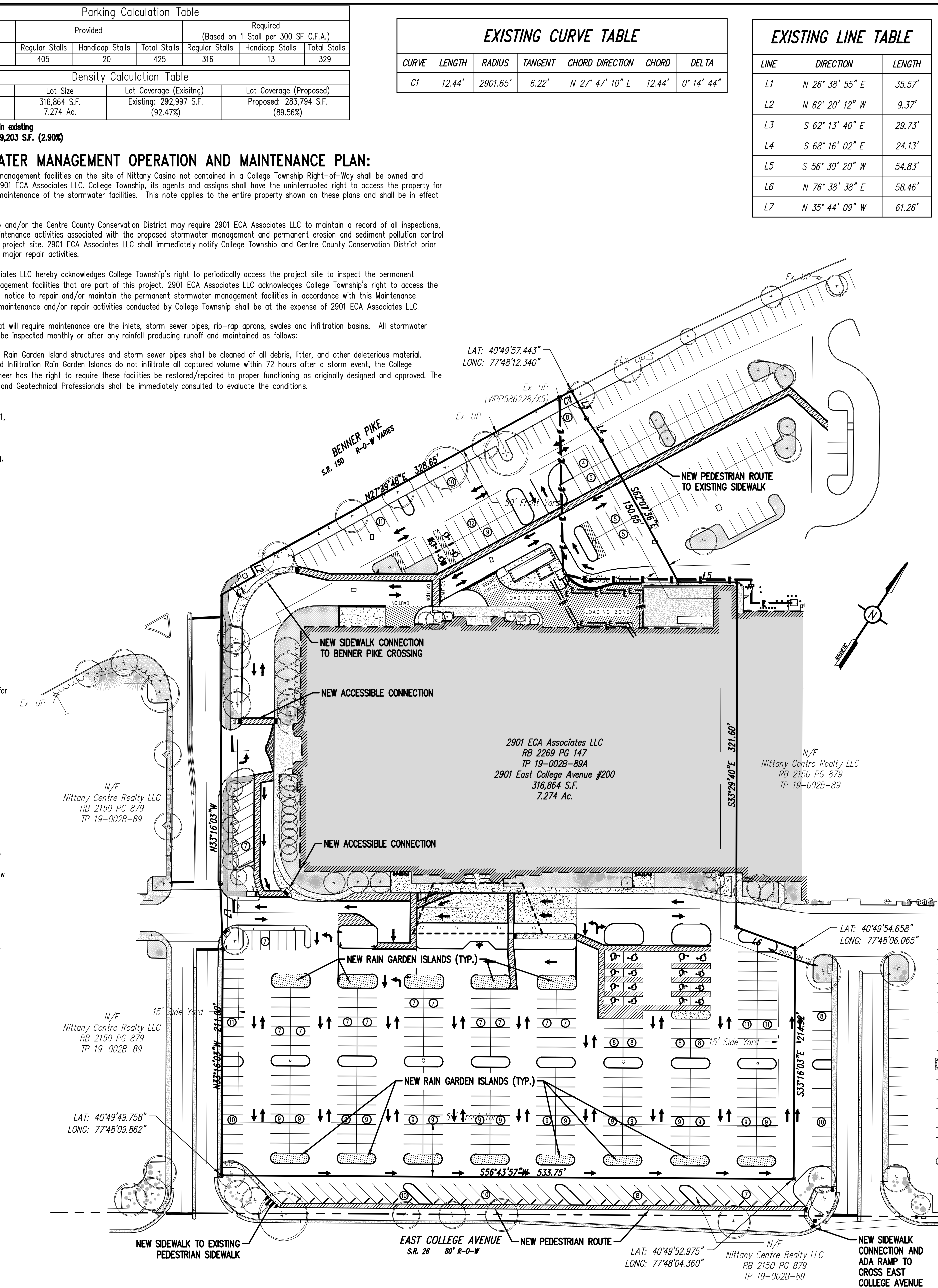
	Thirty-Foot Buffer Yard	Twenty-Five-Foot Buffer Yard	Twenty-foot Buffer Yard*	Fifteen-Foot Buffer Yard
Canopy trees	1.8	2.4	3	2.7
Understory trees*	3.6	4.8	6	5.4
Shrubs	5.4	7.2	9	8.1
Fence	None	None	None	Required

- NOTES:
- * An evergreen tree of similar size and height may be substituted in place of the understory tree.
 - (b) The buffer yard width may vary as long as the average width for the entire buffer is the same as that required and the intent of the buffer for mitigating noise, dust and visual affects is not abrogated.
 - (c) Minimum plant size shall be as specified:

Plant Type	Minimum Size
Deciduous canopy tree	2 to 2 1/2 inch caliper
Understory tree	6 feet in height, 1 1/2 inch caliper
Evergreen and deciduous shrubs	18 inches in height at planting & 4 feet at maturity
 - (d) The fence(s) shall be six-foot high, decorative in nature and at least 50% opaque. There is no planned fence at the Nittany Casino.

- The Benner Pike length is 328 feet. The planned Landscaping at Benner Pike would yield the following: maximum:
- | | |
|-------------------|---|
| Canopy Trees: | 3.28 x 3 = 9.84; say 10 Canopy Trees |
| Understory Trees: | 3.28 x 6 = 19.68; say 20 Understory Trees |
| Shrubs: | 3.28 x 9 = 29.52; say 30 Shrubs |
- East College Avenue length is 533 feet. The planned Landscaping at East College Avenue will yield the following:
- | | |
|-------------------|---|
| Canopy Trees: | 5.33 x 3 = 15.99; say 16 Canopy Trees |
| Understory Trees: | 5.33 x 6 = 31.98; say 32 Understory Trees |
| Shrubs: | 5.33 x 9 = 47.97; say 48 Shrubs |
- (NOTE that there are new rows of Landscaping Islands that lay parallel with East College Avenue and Benner Pike.) Refer to Sheet 17 for the list of trees (Canopy and Evergreen) and shrubs which combined meet or exceed the required buffer plantings as described above.
- Total Landscaping Installation:
- Canopy Trees: 42 with an additional ten along East College Avenue and eleven along the Benner Pike; 63 Canopy
 - Trees Total: 49
 - Understory Trees: 49
 - Shrubs (including grasses): 423

- Since the Casino is a specialized use and operation; prior to opening the developer shall coordinate with the Centre County Refuse & Recycling administrator to coordinate how the existing loading dock/refuse area will be used/coordinated for practical and efficient pick-up of trash and recyclables.

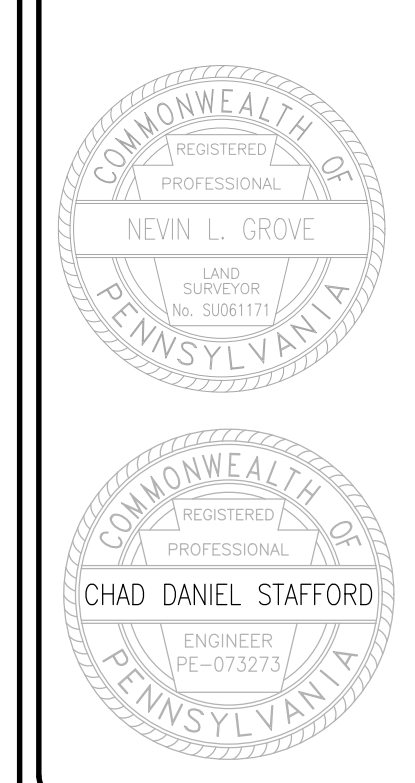


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 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
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Designer	MJA
Draftsman	MJA
Proj/Manager	CDS
Surveyor	XXX
Perimeter Ok.	
Book	XXX, Pg. XXX
File	20141 - 3 - RECORD PLAN
Layout	RECORD PLAN

Date	Description	REVISIONS

NITTANY CASINO
 COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

RECORD PLAN

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 60'
SHEET NO.	3

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
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- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

DEMOLITION LEGEND

- Existing Curb to be Removed
- Existing Concrete to be Removed
- Existing Pavement to be Removed
- Existing Deciduous Tree to be Removed
- Existing Evergreen Tree to be Removed
- Existing Shrub to be Removed

DEMOLITION & CLEARING NOTES*:

- BEFORE BIDDING IN PENNSYLVANIA, CALL 1-800-242-1776
1. INSTALL CONTRACTORS CONSTRUCTION FENCE WITH MESH AROUND THE PERIMETER OF THE DEVELOPMENT AREA/SITE. PLACE 'CONSTRUCTION AREA' SIGNS (TS1) AROUND THE PERIMETER OF THE SITE ALONG ALL DRIVEWAYS. PLACE 'SIDEWALK CLOSED' SIGNS AT THE BOUNDARY DRIVEWAYS. INSTALL ADDITIONAL TEMPORARY ORANGE CONSTRUCTION FENCE/MESH/RIBBONS AROUND THE TREES TO REMAIN AT THE DEVELOPMENT SITE SPECIFICALLY ALONG THE BUILDING.
2. INSTALL INITIAL EROSION & SEDIMENTATION CONTROLS. REFER TO SHEETS ES-1 & ES-2: EROSION & SEDIMENTATION CONTROL PLAN, NARRATIVE & DETAILS.
3. REMOVE TREES, ROOTS COMPLETE AND ALL ISLANDS WITHIN THE LIMITS OF THE DEVELOPMENT SITE. VERIFY WITH SEDA-COG IF ANY TREE PRODUCT IS TO BE STOCKPILED ON SITE FOR RE-USE OR OTHER REASON.
4. REESTABLISH THE EROSION & SEDIMENTATION CONTROLS. BEGIN SITE DEVELOPMENT CONSTRUCTION WORK.
5. SAW OUT AND DISPOSE OF THE ASPHALT, CURBING AND SIDEWALK FOR INSTALLATION OF THE PLANNED DRIVEWAY, SIDEWALK AND CURBING.
6. CONSIDER THE ARCHITECTURAL PLANS, FOUNDATIONS AND OTHER BUILDING DATA PROVIDED BY THE ARCHITECTS AND REMOVE THE NECESSARY EARTH, FOUNDATIONS AND ALL FACILITIES WHICH CAN NOT REMAIN OR NEED TO BE EXCAVATED FOR THE BUILDING CONSTRUCTION. THE ARCHITECT SHALL DIRECT THIS DEMOLITION/CONSTRUCTION WORK; NO EXCEPTION.

EXISTING LINE TABLE

LINE	DIRECTION	LENGTH
L1	N 26° 38' 55" E	35.57'
L2	N 62° 20' 12" W	9.37'
L3	S 62° 13' 40" E	29.73'
L4	S 68° 16' 02" E	24.13'
L5	S 56° 30' 20" W	54.83'
L6	N 76° 38' 38" E	58.46'
L7	N 35° 44' 09" W	61.26'

EXISTING CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD DIRECTION	CHORD	DELTA
C1	12.44'	2901.65'	6.22'	N 27° 47' 10" E	12.44'	0° 14' 44"

- GENERAL SITE DEMOLITION NOTES**
1. The Contractor is responsible for obtaining all local and state permits required for demolition work.
 2. The Contractor shall indemnify and hold harmless the Owner and/or architect and engineer for any and all injuries and/or damages to personnel, equipment and/or existing facilities in the demolition and construction described in the plans and specifications.
 3. Existing conditions as depicted on these plans are general and illustrative in nature and do not include mechanical, electrical and miscellaneous structures. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to bidding on the demolition work for this project. If conditions encountered during examination are significantly different than those shown, the Contractor shall notify the architect and engineer immediately.
 4. All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
 5. Existing above and below ground structures within the limits of new construction noted to be removed shall be razed unless noted otherwise this construction set, architectural plans and/or project specifications. This includes foundation slabs, walls, and footings.
 6. All demolition waste and construction debris shall be removed by the Contractor and disposed of in a state approved waste site and in accordance with all local and state codes and permit requirements.
 7. All utility removal, relocation, cutting, capping and/or abandonment shall be coordinated with the appropriate utility company.
 8. The burning of cleared material and debris shall not be allowed.
 9. Erosion and sedimentation control measures around areas of demolition shall be installed prior to initiation of demolition activities. Refer to plan and details for site specific information including tree protection details if necessary.
 10. Asbestos or hazardous materials, if found on site, shall be removed by a licensed hazardous materials Contractor. Contractor shall notify Owner immediately if hazardous materials are encountered.
 11. Contractor shall protect all corner pins, monuments, property corners, and benchmarks during demolition activities. If disturbed, Contractor shall have disturbed items reset by a licensed surveyor at no additional cost to the Owner.
 12. Contractor shall adhere to all local, state, federal, and state regulations operating demolition equipment around utilities.
 13. Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval and coordinate with local and/or state agencies regarding the need, extent, and limitations associated with installing and maintaining traffic control measures.
 14. Contractor shall protect at all times adjacent structures and items from damage due to demolition activities.
 15. Contractor shall coordinate existing facilities utility disconnects with the Owner a minimum 7 days prior to anticipated demolition of structures.
 16. Contractor shall refer to Construction and Design Plans for other pertinent information where applicable.
 17. Contractor shall replace or repair to Owner's satisfaction all curbs, utilities, sidewalks, landscaping, etc. damaged during construction that are not indicated to be removed.
 18. Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appearances to finish grades within the limit of work.
 19. All paving to be removed shall be sawcut to provide a sharp clean edge. All sidewalks to be removed shall be sawcut at the nearest joint. Existing pavement shall be removed as required for new curbs, walkway, or utility construction.
 20. Contractor shall verify the location of manholes, inlets, valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to the architect. All existing utilities shall be retained unless marked otherwise, and appearances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
 21. Contractor shall coordinate with utilities companies on installation, relocation or replacement of electrical, phone, gas and cable services.

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 STATE COLLEGE, PA 16801
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COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 CHAD DANIEL STAFFORD
 ENGINEER PE-073274

Designer: MJA
 Draftsman: MJA
 Proj/Manager: CDS
 Surveyor: XXXX
 Perimeter Ok.
 Book: XXXX Pg: XXXX
 File: 20141 - 4 - DEMOLITION PLAN
 Layout: DEMOLITION PLAN

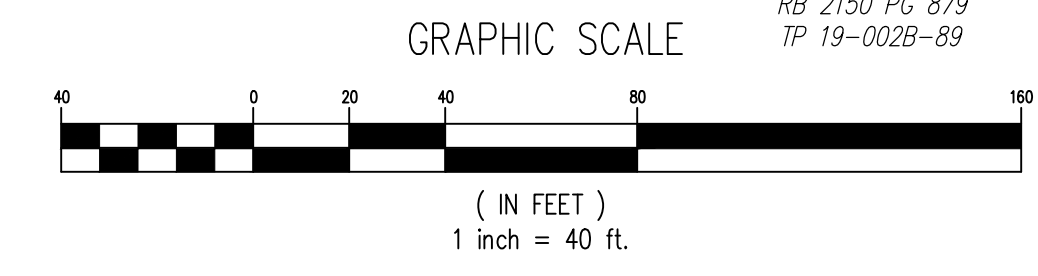
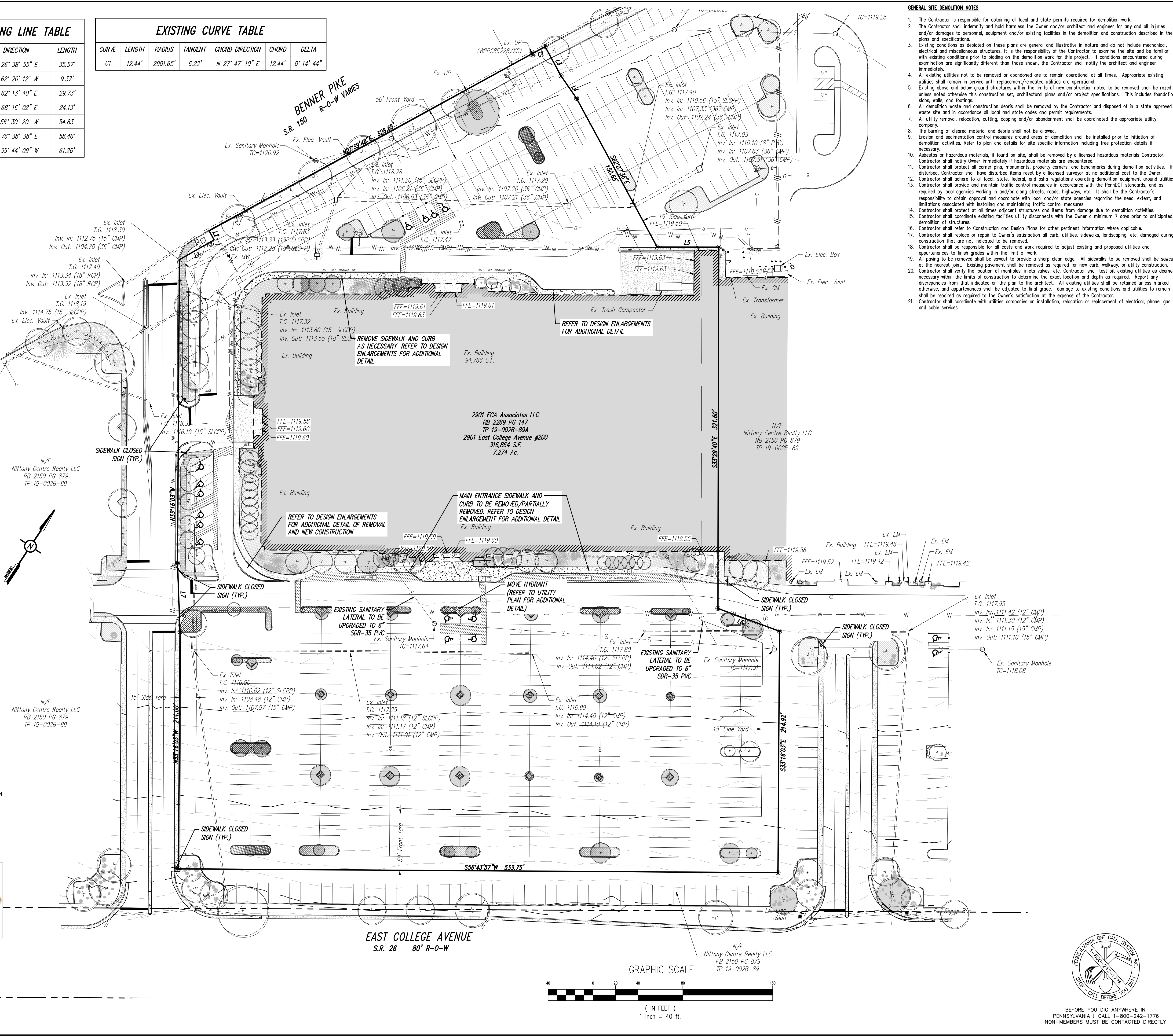
8-3-20
 MJA
 Date Description
 REVISIONS

NITTANY CASINO
 COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

DEMOLITION PLAN

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 40'
SHEET NO.	4



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- CONSTRUCTION NOTES**
- Field survey data prepared by PennTerra Engineering, Inc. Contractor shall field verify all information and contact the site Owner or Owner's representative in the event of a discrepancy.
 - The project benchmark is an X-Cut Bolt on the existing fire hydrant located on the south end of Shiloh Road. ELEV = 1120.72.
 - The Contractor shall verify the location of manholes, inlets, valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor. Contractor shall notify Owner or Owner's representative in the event of potential conflicts or discrepancies of existing utilities.
 - All areas disturbed during construction, not designated to receive paving or mulch, shall be fine graded, topsoiled, & seeded unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
 - The Contractor shall repair or replace all curbs, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed. All repairs or replacements are at the Contractor's expense. The Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finished grades within the limits of work.
 - The Contractor shall be responsible for coordination with utility companies on location/removal and/or replacement of electrical, phone, gas, sanitary, water, and cable services.
 - All paving to be removed shall be swept to provide a sharp clean edge. Existing bituminous pavement shall be removed as required for new curb, walkway, or utility construction. Refer to detail sheets for specific curb type of installation. Contractor shall then mill and/or patch bituminous paving and install scratch course as required to meet existing or proposed grades. All new bituminous paving joints shall be sealed with AC-20. If there is a new standard? The Contractor shall verify existing paving of new paving construction locations before the paving subbase installation and report any discrepancies that will affect the drainage of the areas to the Owner's representative.
 - The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
 - The Contractor shall notify assigned inspection agency before any retaining wall construction. Retaining walls shall be constructed per the project specification approved building permit and certified by the assigned inspection agency. The Contractor shall maintain one set of contract documents on site to be utilized for record documents. Field records of the depth and locations of all underground service utilities (water, sanitary sewer, storm drains, primary and secondary electric, gas, and cable television) shall be added to the record set by the Contractor as well as all field revisions and adjustments.
 - The Contractor shall contact PA one call system @ 1-800-242-1776 at least three (3) days before construction activities.
 - All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.
 - The Contractor shall provide and maintain traffic control measures in accordance with the PennDOT standards, and as required by local agencies when working in and/or along streets, roads, highways, etc. It shall be the Contractor's responsibility to obtain approval of the traffic control plan?
 - The Contractor shall refer to the architectural plans for the exact location of utility entrances, building dimensions, roof leaders exit doors, exit ramps, and porches. All site work shall be done in accordance with the plans prepared by PennTerra Engineering, the current regulations of the governing municipality, and all other pertinent federal, state & local laws. Any conflicts between the architectural plans and site plans shall be reported immediately to the Owner's representative.
 - The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the Federal Construction Safety Act (Public Law 91-54), Federal Register, Chapter XVII, Part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
 - All site work shall be done in accordance with the plans prepared by PennTerra Engineering inc., the current requirements of the College Township, Centre County, the applicable sections of the PennDOT Standard Specifications for Roadway Construction, and all other pertinent federal and state laws.
 - Any areas designated for approved septic systems must remain undisturbed. Any damage to approved septic areas shall be the responsibility to the contractor.
 - The storage or removal of excess topsoil shall be coordinated with the owner or owner's representative.

- GRADING NOTES**
- The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
 - Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
 - All existing trees, vegetation, pavements, concrete foundations, structures and organic topsoil shall be stripped and removed from new construction areas unless noted otherwise.
 - An as-built drawing of new utility services must be prepared by the Contractor and submitted to the Owner upon completion of the project.
 - All areas not paved shall be sodded, topsoiled, seeded, mulched or landscaped unless otherwise noted in the construction drawings, site specifications or instructed by the Owner.
 - Contractor shall refer to the geotechnical report prior to initiation of any earthwork activity.
 - Contractor shall refer to other plans within this construction set for other pertinent information.
 - The maximum slope within all the hand-dropped spaces shall be 2.00% in any direction.
 - The maximum slope for all on-site sidewalks shall be 4.00% with a maximum cross slope of 2.00% and curb ramps shall have a maximum slope of 8.30%.
 - Proposed spot elevation are to bottom of curb unless noted otherwise.
 - The Contractor shall notify Owner's testing agency before any placement and compaction of fills on the site. Fill areas shall be prepared and compacted per the project specifications and certified by the Owner's testing agency. Contractor shall be responsible for removal, retesting, and replacement of fills not meeting the specifications. The Contractor is also responsible for all expenses associated with replacement of fills not meeting the specifications.
 - All fill material brought on to the job by the Contractor must comply with all applicable D.E.P. regulations regarding clean fill.

- ADA ACCESSIBILITY GUIDELINES**
- Notable Guidelines per 2010 ADA Standards for Accessible Route Design:
- The running slope of walking surfaces shall not be steeper than 1:20, and the cross slope of walking surfaces shall not be steeper than 1:48.
 - The clear width of walking surfaces shall be 36 inches minimum.
 - Handrails shall be provided along accessible route walking surfaces with running slopes steeper than 1:20 except at curb ramps.
 - Door openings shall provide a clear width of 32 inches minimum. Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum.
 - Ramp runs shall have a running slope not steeper than 1:12, and the cross slope of ramp runs shall not be steeper than 1:48.
 - The rise for any ramp run shall be 30 inches maximum.
 - Ramps shall have landings at the top and bottom of each ramp run, and must comply with Section 405.7 of the 2010 ADA Standards.
 - Curb ramps shall not be steeper than 1:20, curb ramp side faces shall not be steeper than 1:10, and landings shall be provided at the tops of curb ramps.
 - Curb ramp landings shall be 36 inches minimum, and the landing clear width shall be at least as wide as the curb ramp (excluding flared sides).
 - Parking spaces shall comply with Section 502 of the 2010 ADA Standards.
 - Handicap car parking spaces shall be 96 inches wide minimum and van parking spaces shall be 132 inches wide minimum, and shall have an adjacent access aisle complying with Section 502.3 of the 2010 ADA Standards.
 - Access aisles serving car and van parking spaces shall be 60 inches wide minimum, and shall extend the full length of the parking space(s) they serve.
 - Reference 2010 ADA Standards for Accessible Route Design for additional information.

- STORMWATER MANAGEMENT NOTES**
- All site work shall be done in accordance with the plans prepared by PennTerra Engineering, Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
 - The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act, as amended.
 - The Contractor shall be responsible for examining the areas and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid to be constructed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
 - Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify pa one call 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
 - An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
 - All storm pipe shall be as noted. All joints shall be watertight.
 - Contractor shall refer to other plans within this construction set for other pertinent information.
 - Co-permittee requirements: Contractor to complete Pennsylvania Department of Environmental Protection (D.E.P.) forms and make application to become co-permittee of the individual NPDES permit prior to commencing any land disturbance (as applicable). Contractor shall assume full responsibility for any fines or other measures assessed by regulatory agencies due to improper or deficient installation and / or maintenance of the temporary erosion and sedimentation control measures and post-construction stormwater measures installed. Contractor shall remain a co-permittee of the National Pollutant Discharge Elimination System (NPDES) permit until the notice of termination of the NPDES permit has been issued by the PA D.E.P.
 - Notice of termination services: Contractor shall be responsible for the services for the Notice of Termination of the NPDES permit. And or as-built services. This includes but is not limited to the following:
 - Prepare an as-built topographic survey sealed by a licensed surveyor from the Commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, rain garden and outlet structures, outlet pipes, etc.).
 - Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/ amended soils must also be submitted to the governing municipality. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN:

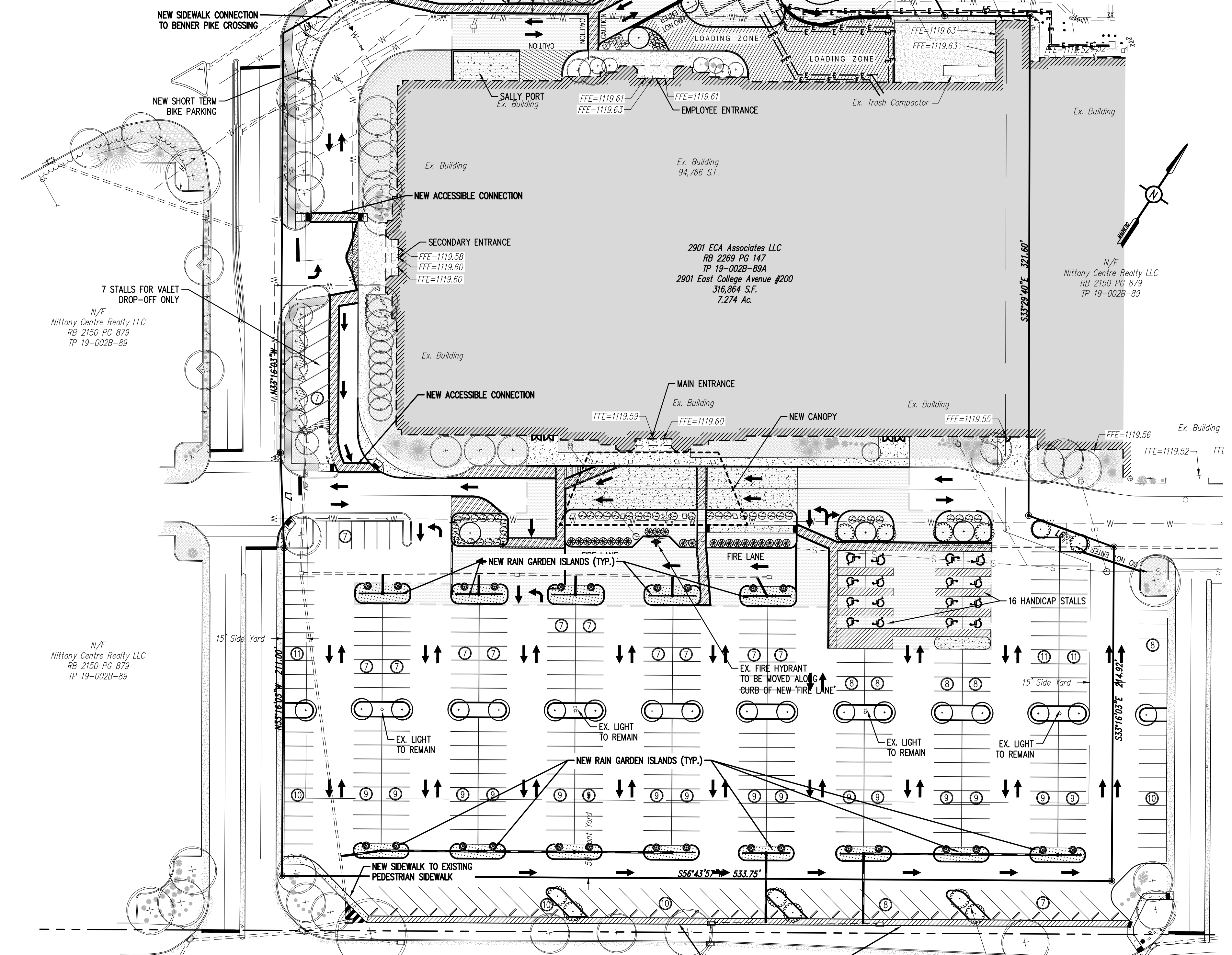
All stormwater management facilities on the site of Nittany Casino not contained in a College Township Right-of-Way shall be owned and maintained by 2901 ECA Associates LLC. College Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

College Township and/or the Centre County Conservation District may require 2901 ECA Associates LLC to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. 2901 ECA Associates LLC shall immediately notify College Township and Centre County Conservation District prior to initiating any major repair activities.

2901 ECA Associates LLC hereby acknowledges College Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. 2901 ECA Associates LLC acknowledges College Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by College Township shall be at the expense of 2901 ECA Associates LLC.

The facilities that will require maintenance are the inlets, storm sewer pipes, rip-rap aprons, swales and infiltration basins. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- The Infiltration Rain Garden Island structures and storm sewer pipes shall be cleaned of all debris, litter, and other deleterious material.
- If the proposed Infiltration Rain Garden Islands do not infiltrate all captured volume within 72 hours after a storm event, the College Township Engineer has the right to require these facilities be restored/ repaired to proper functioning as originally designed and approved. The Project's Civil and Geotechnical Professionals shall be immediately consulted to evaluate the conditions.



Tax Parcel	Provided	Required				
	Regular Stalls	Handicap Stalls	Total Stalls	Regular Stalls	Handicap Stalls	Total Stalls
19-002B-89A	408	20	428	316	13	329

Tax Parcel	Lot Size	Lot Coverage (Existing)	Lot Coverage (Proposed)
		Existing: 292,997 S.F. (92.47%)	Proposed: 283,794 S.F. (89.56%)
19-002B-89A	316,864 S.F. 7.274 Ac.		

*Note a reduction in existing site impervious by 9,203 S.F. (2.90%)

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED RETAINING WALL
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE SLOPE
- PROPOSED FIRE HYDRANT
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

PennTerra ENGINEERING INC.

CENTRAL PENNSYLVANIA REGION OFFICE:
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
Fax: 814-237-2308

LANCASTER REGION OFFICE:
3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046

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COMMONWEALTH OF PENNSYLVANIA
PROFESSIONAL ENGINEER
CHAD DANIEL STAFFORD
PA-073274

Designer: MJA
Draftsman: MJA
Proj/Manager: CDS
Surveyor: XXXX
Perimeter Ok.
Book: XXXX Pg. XXXX
File: 20141-5 - DEVELOPMENT PLAN
Layout: DEVELOPMENT PLAN

REVISIONS

NO.	DATE	DESCRIPTION

NITTANY CASINO

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

**OVERALL
DEVELOPMENT
PLAN**

PROJECT NO. 20141
DATE: JULY 12, 2021
SCALE: 1" = 40'
SHEET NO. 5

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776. NON-MEMBERS MUST BE CONTACTED DIRECTLY.

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

UTILITY NOTES

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction and all other pertinent federal and state laws.
- The Contractor shall comply at all times with applicable federal, state and local laws, provisions, and policies governing safety and health, including the federal construction safety act (public law 91-54), federal register, Chapter XVII, part 1926 of Title 29 regulations, occupational safety and health regulations for construction, and subsequent publications updating these regulations.
- The Contractor shall be responsible for examining the area and conditions under which the project is to be constructed prior to the submission of a bid. Submission of a bid shall be construed to mean the Contractor has reviewed the site and is familiar with conditions and constraints of the site.
- Before excavation, all underground utilities shall be located in the field by the proper authorities. The Contractor shall notify PA One Call at 1-800-242-1776. The location of all utilities and underground structures are approximate and may not all be shown. It is the responsibility of the Contractor to determine the existence and exact location of all utilities and underground structures.
- It is the responsibility of the Contractor to bid and perform all utility work in compliance to all applicable local and state codes and regulations. The Contractor shall be responsible for all fees associated with the installation, testing and final acceptance of all proposed utility construction.
- Contractor shall be responsible for the installation, inspection, testing and final acceptance of all proposed utility construction.
- Contractor shall coordinate with the appropriate utility company on the addition, removal and/or relocation of utilities and utility poles and the extension of all proposed utilities to the proposed facilities.
- All utilities shall be installed in accordance with the specifications of the respective utility company. It is the responsibility of the Contractor to ensure all utilities are installed correctly to meet project requirements whether performed by the Contractor or not.
- Contractor shall verify all utility service connections at the proposed building with the architecture/mechanical/plumbing/electrical plans.
- An as-built drawing of new utility services shall be prepared by the Contractor and submitted to the Owner upon completion of the project.
- All sanitary sewer & water lines shall have 4' minimum coverage.
- All water service lines shall be constructed with 48" minimum cover.
- All public water main construction and all private water main & lateral service construction shall be in accordance with the water authority's standards and specifications.
- All 8" public water lines shall be ductile iron pipe class 52 min manufactured in accordance with AWWA C150 & C151 standards, & shall be cement lined, and bituminous seal coated inside & out in accordance with AWWA C140 standards.
- All private water mains shall be ductile iron Class 52 min manufactured in accordance with AWWA C150 & C151 standards, & shall be cement lined, and bituminous seal coated inside & out in accordance with AWWA C140 standards.
- All 6" water service lines to fire hydrants off of the 8" water main shall be ductile iron Class 52 manufactured in accordance with AWWA C150 & C151 standards. All other water service lines shall be ductile iron Class 52 manufactured in accordance with AWWA C150 & C151 standards. PVC is acceptable to some authorities.
- All sanitary sewer service laterals shall be in accordance with the sanitary sewer authority's standards and specifications. PVC pipe material shall be as shown on plan.

STORMWATER MANAGEMENT NOTES

- All site work shall be done in accordance with the plans prepared by PennTerra Engineering Inc., the current requirements of the governing municipality, the applicable sections of the PennDOT standard specifications for roadway construction, and all other pertinent federal and state laws.
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- Notice of termination services: Contractor shall be responsible for the services for the Notice of Termination of the NPDES permit. And or As-Built services. This includes but is not limited to the following:
 - Prepare an as-built topographic survey sealed by a licensed surveyor from the Commonwealth of Pennsylvania of the stormwater management facilities (infiltration basin, rain garden and outlet structures, outlet pipes, etc.).
- Contractor shall have a licensed professional submit as-built drawings/documentation (including verification of infiltration testing) of the stormwater management facilities prepared in accordance with the governing municipality's code of ordinances and submitted to the governing municipality at the completion of construction as a prerequisite of issuance of occupancy permit or release of the surety bond. A narrative and photographic documentation for critical stages of construction and for the infiltration surface prior to placement of filter fabric/amended soils must also be submitted to the governing municipality. The number of infiltration tests performed shall be in accordance with the governing municipality's code of ordinances.

STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN:

All stormwater management facilities on the site of Nittany Casino not contained in a College Township Right-of-Way shall be owned and maintained by 2901 ECA Associates LLC. College Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

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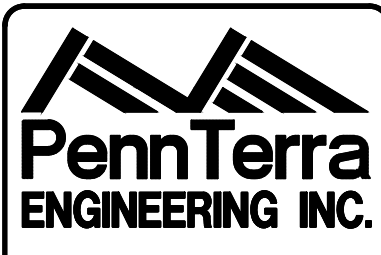
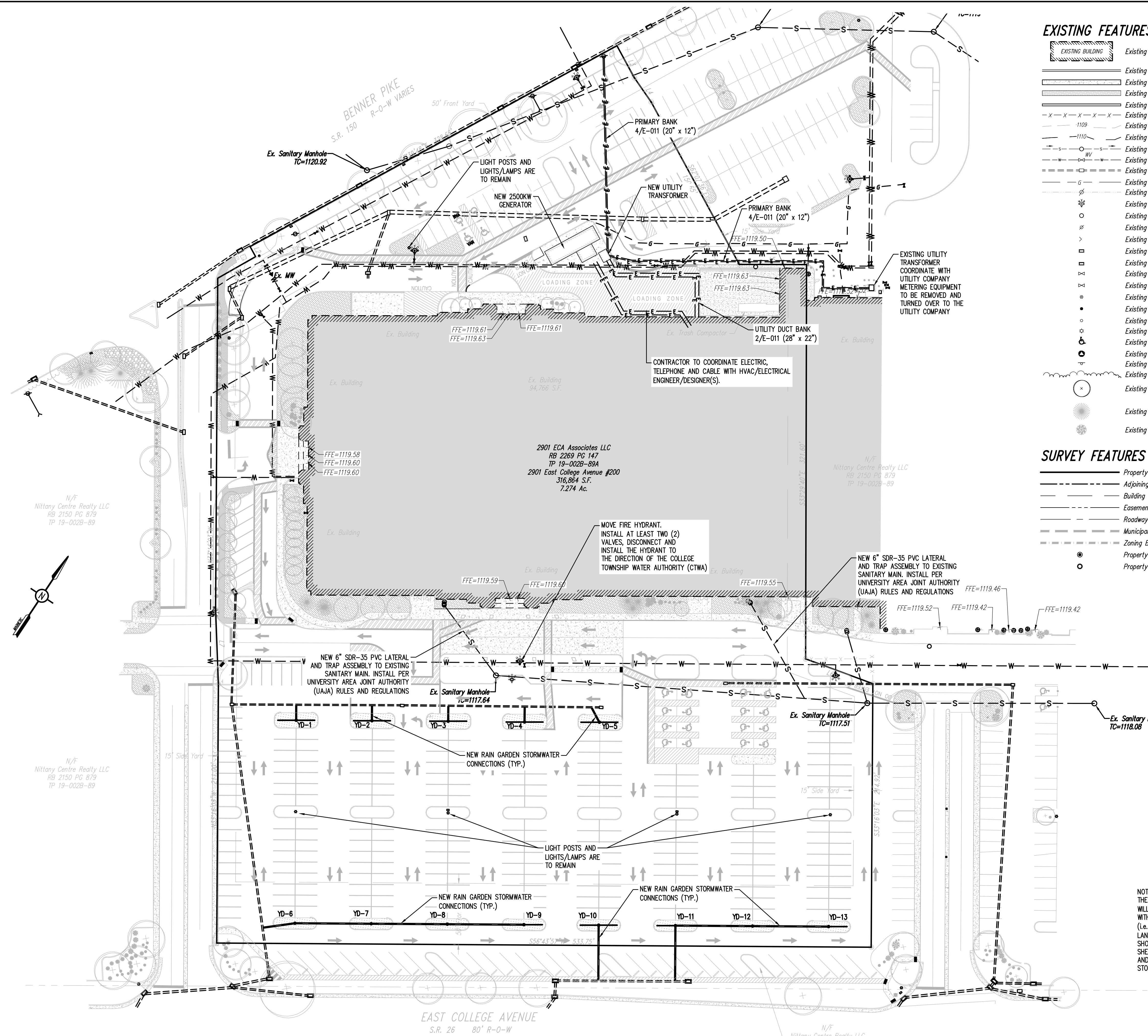
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EXISTING FEATURES LEGEND

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- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

SURVEY FEATURES LEGEND

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- Zoning Boundary
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- Property Corner To Be Set



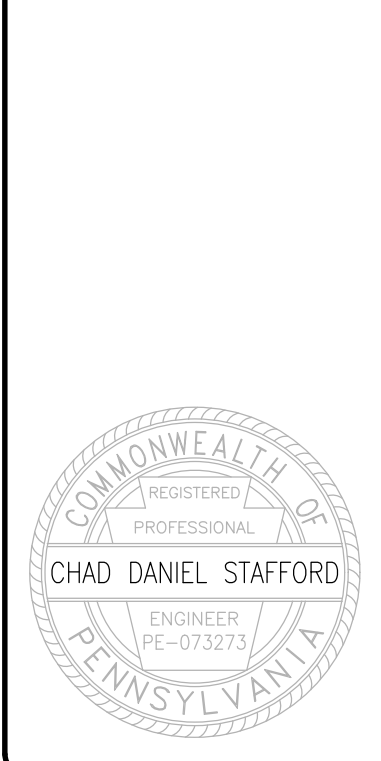
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-232-5038

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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Designer	MJA
Draftsman	MJA
Proj. Manager	CDS
Surveyor	XXX
Perimeter Ok.	
Book	XXX Pg. XXX
Sheet #	6 - OVERALL UTILITY PLAN
Layout	OVERALL UTILITY PLAN

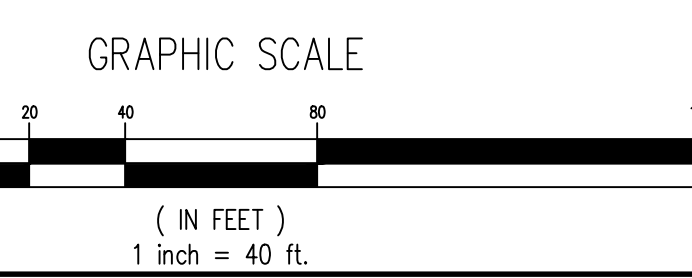
Date	Description	REVISIONS

NITTANY CASINO
 COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

OVERALL UTILITY PLAN

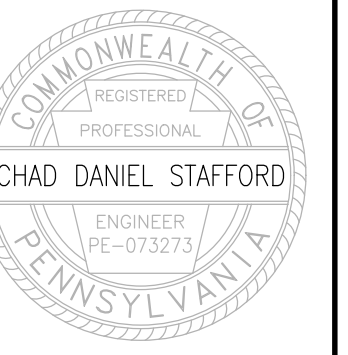
PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 40'
SHEET NO.	6



NOTE:
 THE DETAIL OF THE STORMWATER WHICH WILL BE TIED-INTO/CONNECTED/MODIFIED WITH THE FINAL PLANNED IMPROVEMENTS (I.E. PRIMARY THE RAIN GARDEN LANDSCAPING ISLANDS) ARE GENERALLY SHOWN ON THIS SHEET. REFER TO SHEET 2 & THE ENLARGEMENT SHEETS AND SHEET 18 FOR THE SPECIFIC STORMWATER DATA.



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



Designer	MJA
Draftsman	MJA
Proj/Manager	CDS
Surveyor	XXX
Perimeter Ok	
Book	XXX Pg. XXX
Sheet	7 - DEVELOPMENT KEY MAP
Layout	DEVELOPMENT KEY MAP

Date	Description

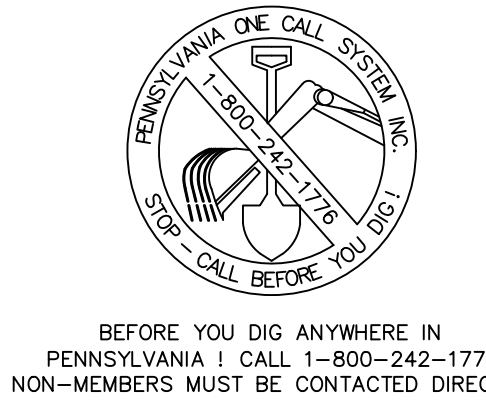
NITTANY CASINO

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

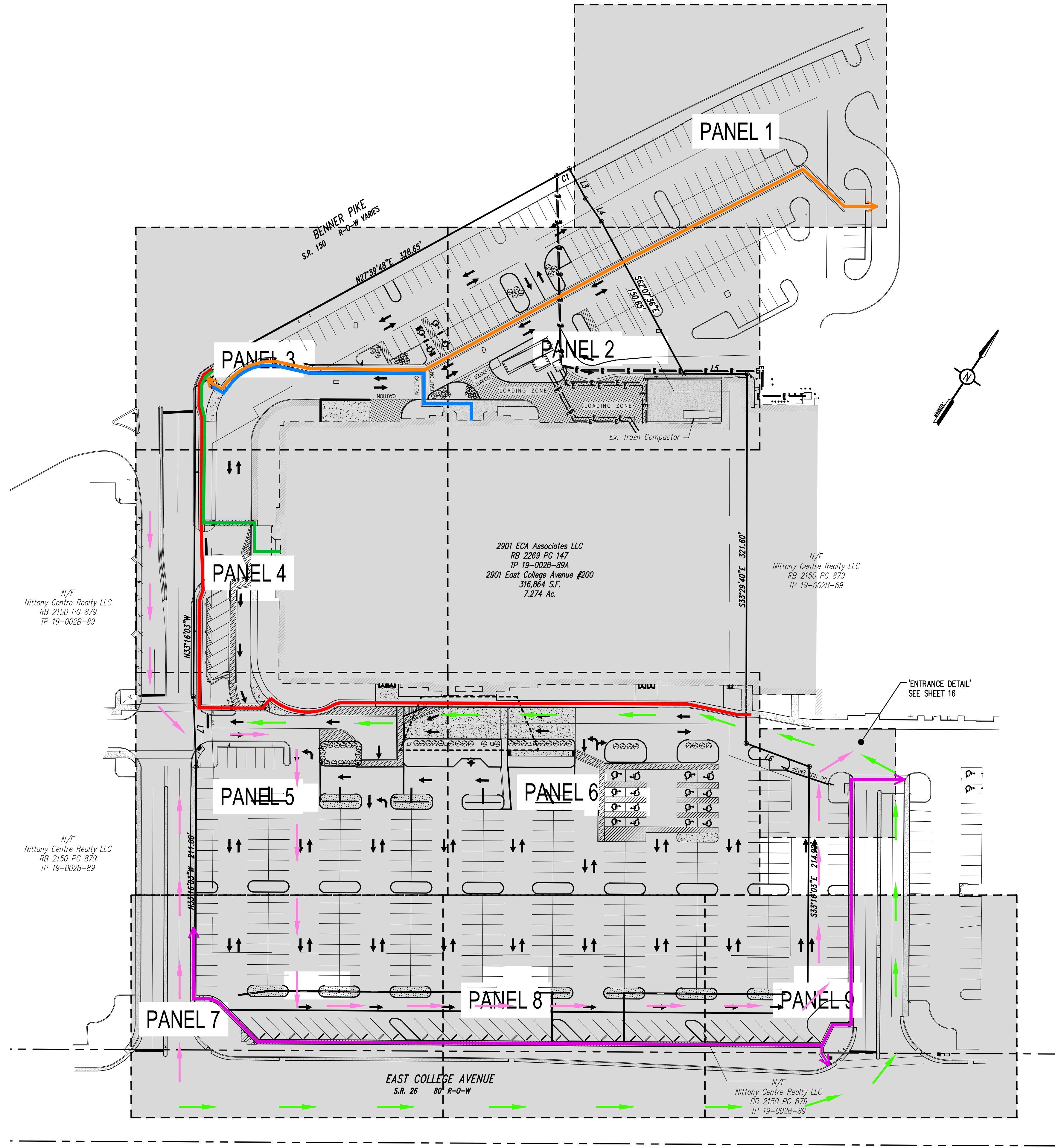
PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS

**DEVELOPMENT
KEY MAP**

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 40'
SHEET NO.	7

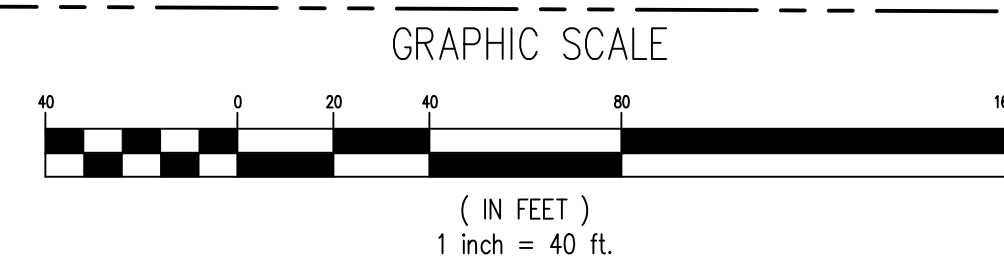


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PENNSYLVANIA ! CALL 1-800-242-1776
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ACCESS LEGEND

- BENNER PIKE (PARALLEL) PEDESTRIAN ROUTE FOR CONNECTIVITY TO EXISTING MALL AND TO BENNER PIKE
- EAST COLLEGE AVENUE PEDESTRIAN ROUTE FOR CONNECTIVITY TO EXISTING SIGNALIZED CROSSING OF STATE ROUTE
- TOUR BUS DIRECTION AND DROP OFF MANEUVER
- CATA BUS ROUTE FROM THE WEST
- ADA ACCESSIBLE ROUTE A
- ADA ACCESSIBLE ROUTE B
- ADA ACCESSIBLE ROUTE C





Designer	MJA
Draftsman	MJA
Proj/Manager	CDS
Surveyor	XXX
Perimeter Ok	
Book	XXX Pg. XXX
Sheet	8 - DEVELOPMENT PANEL 1
Layout	DEVELOPMENT PANEL 1

8-12-21	REVIEW FOR COMMENTS
MJA	
Date	Description
	REVISIONS

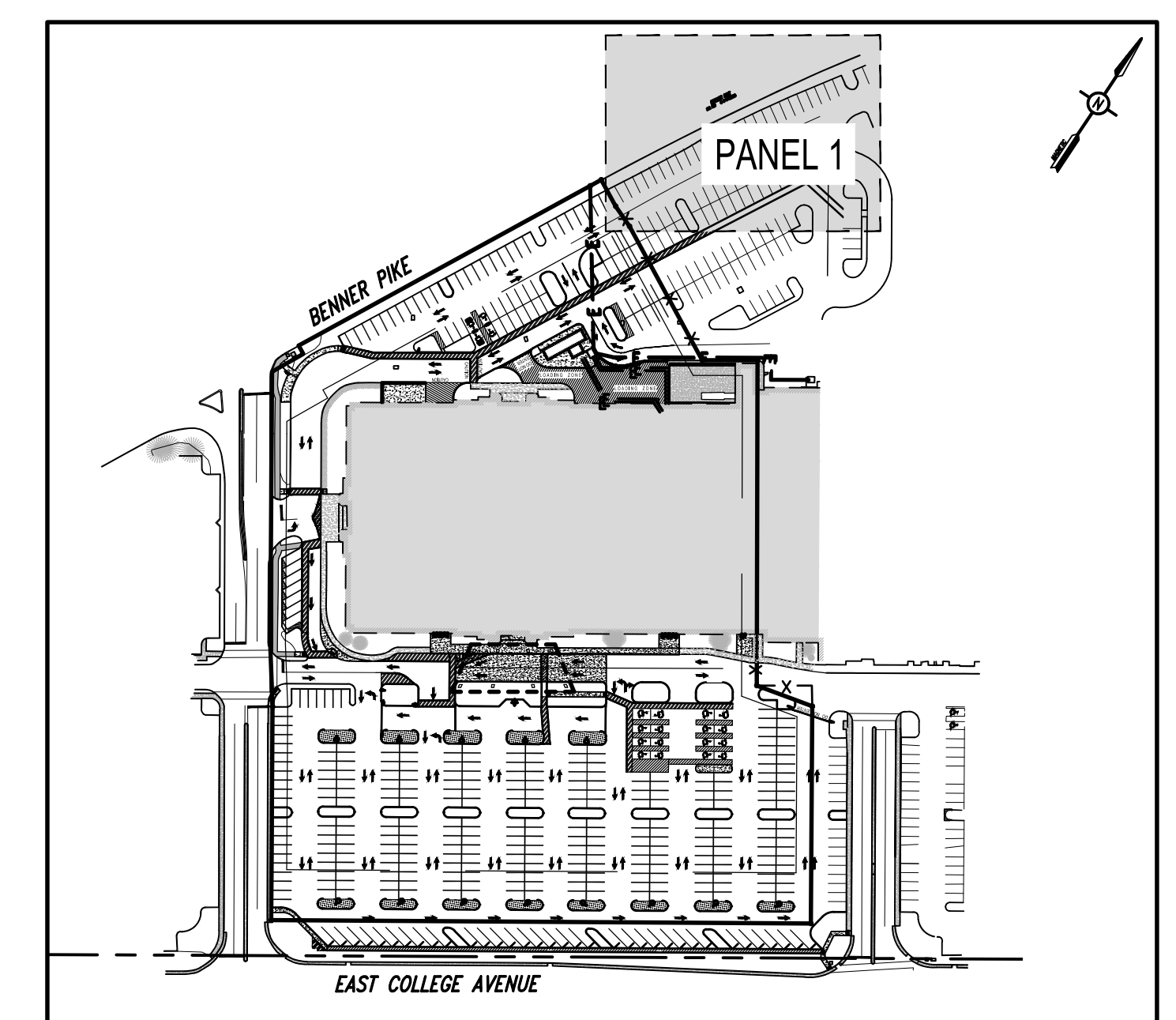
NITTANY CASINO

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

**DEVELOPMENT
PANEL 1**

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 10'
SHEET NO.	8



KEY MAP
1" = 150'

EXISTING FEATURES LEGEND

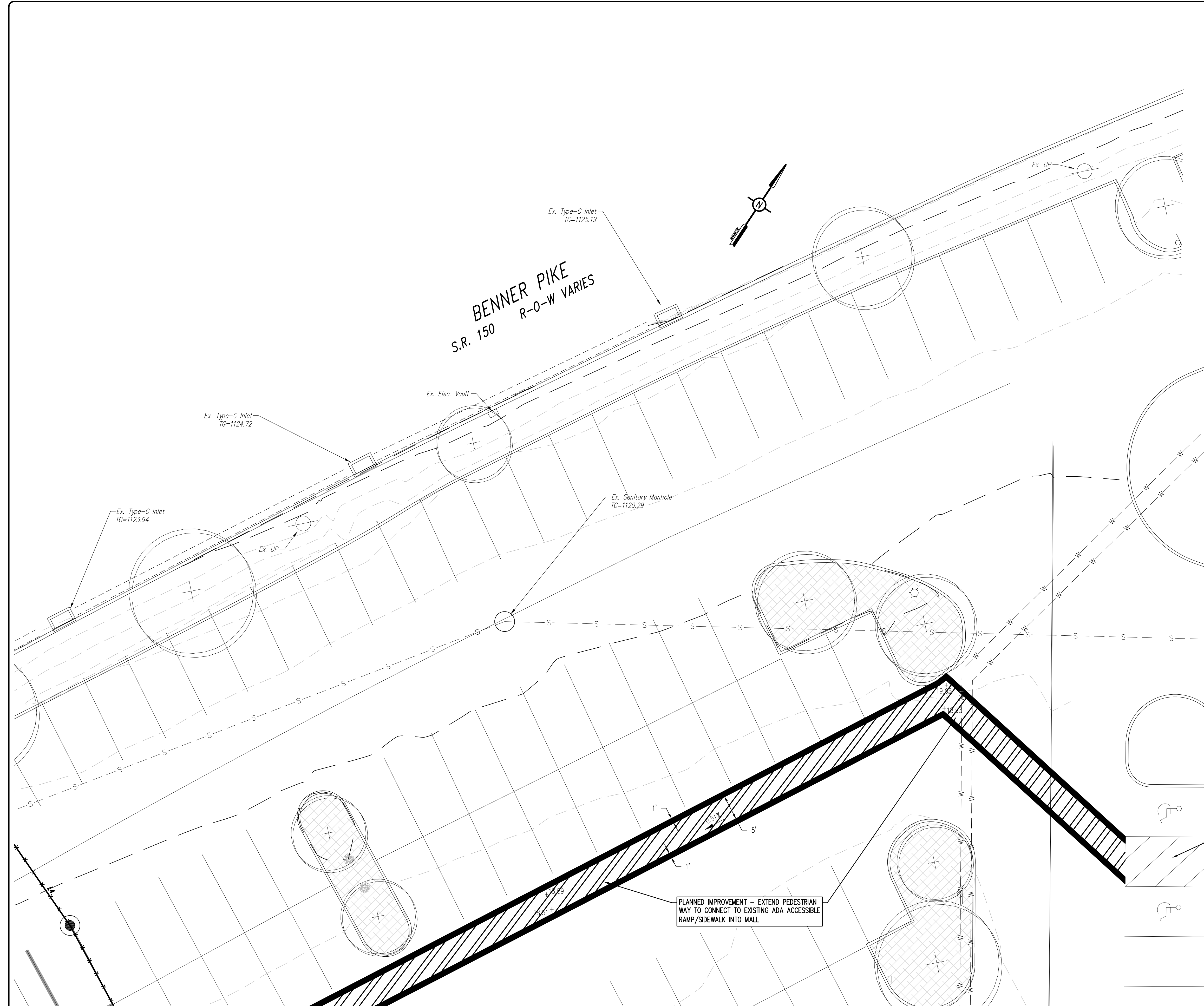
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

SURVEY FEATURES LEGEND

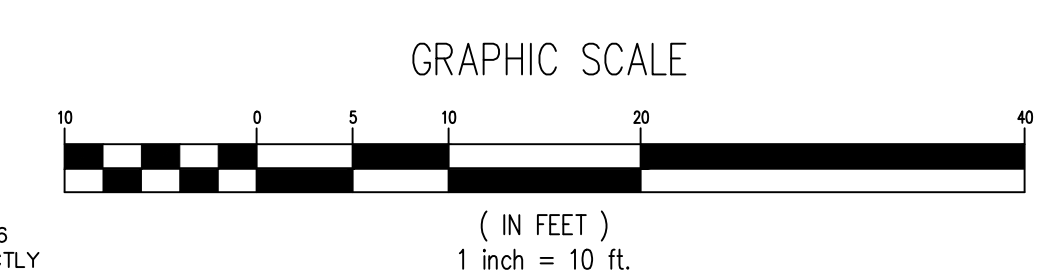
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

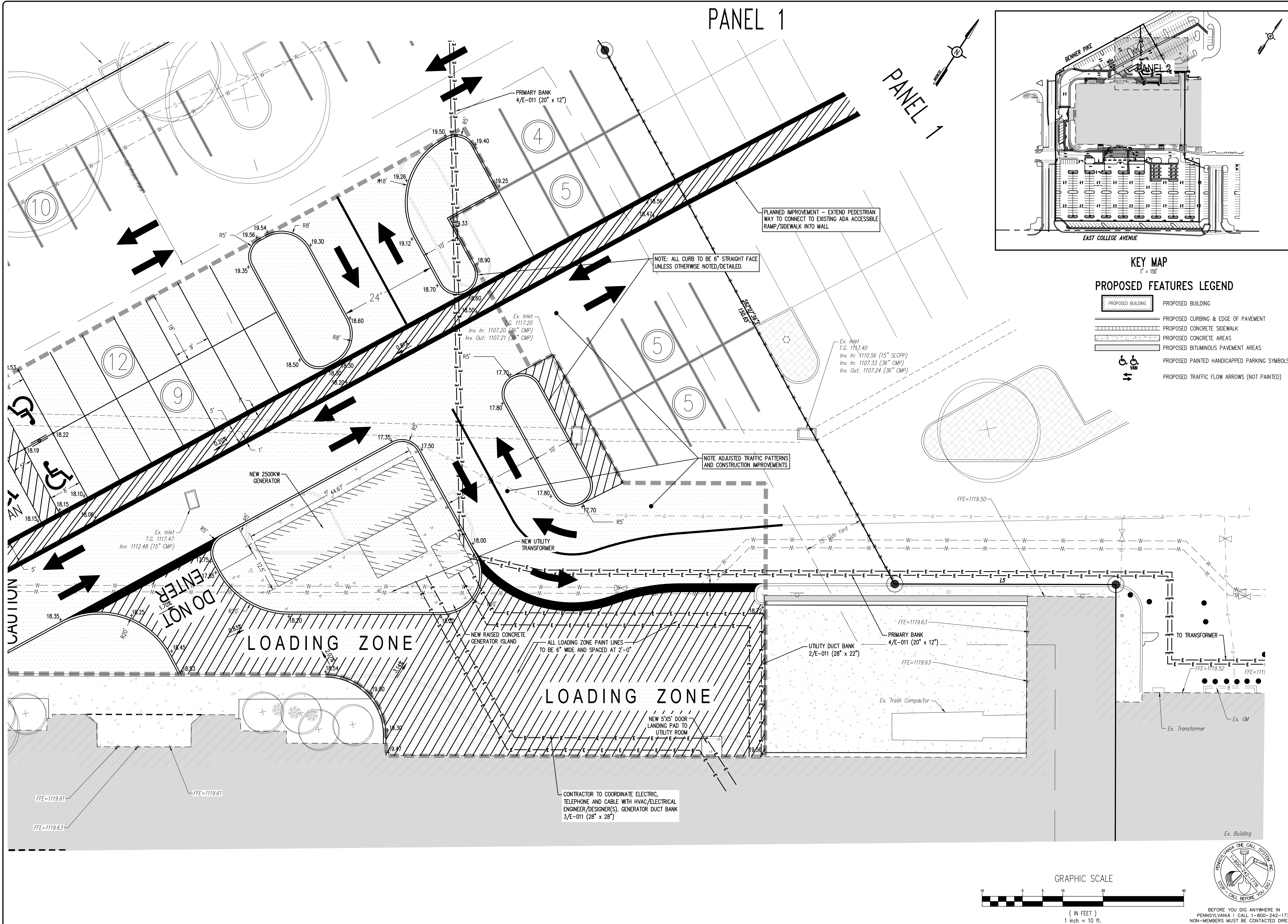


PANEL 2



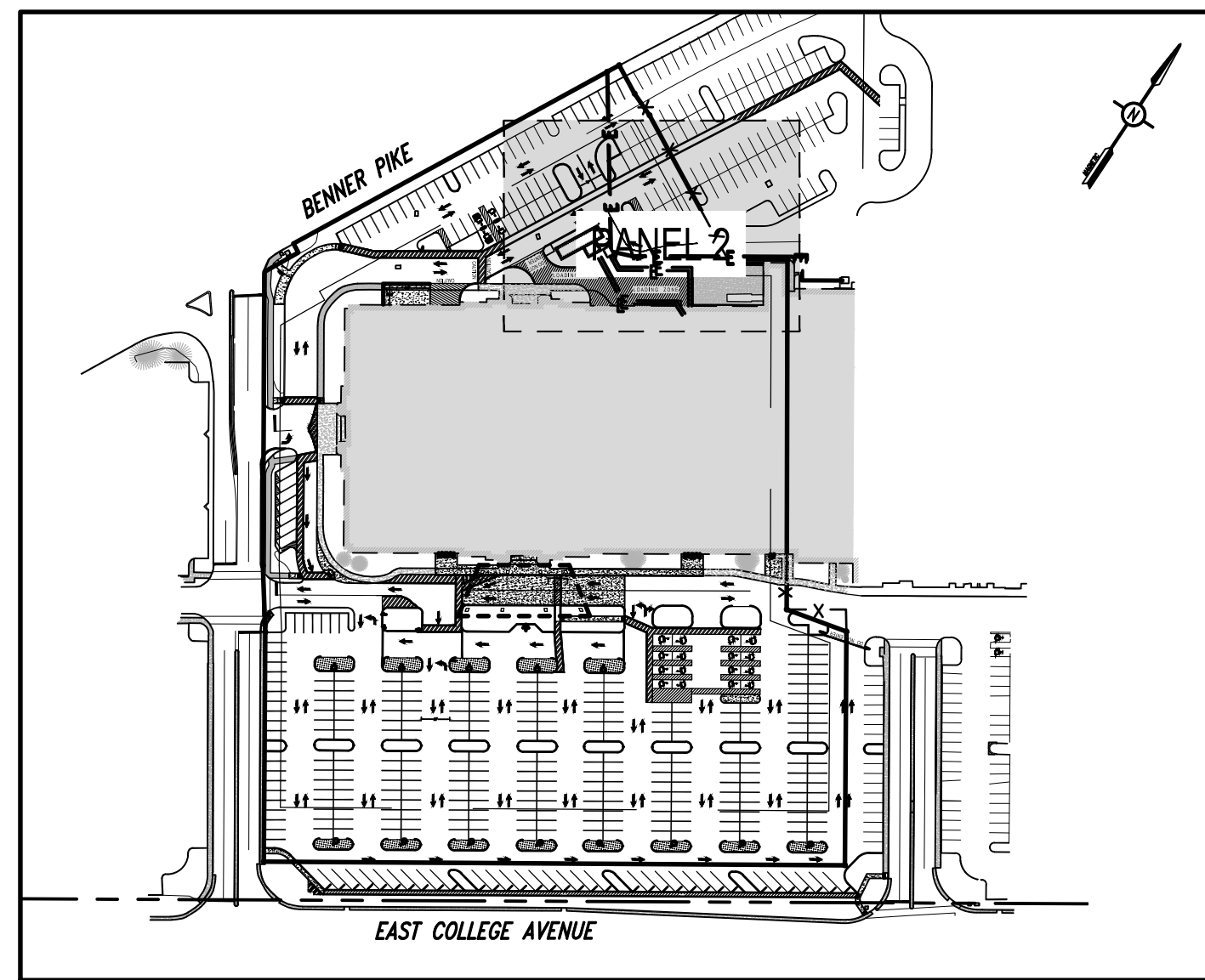
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PANEL 1

PANEL 1



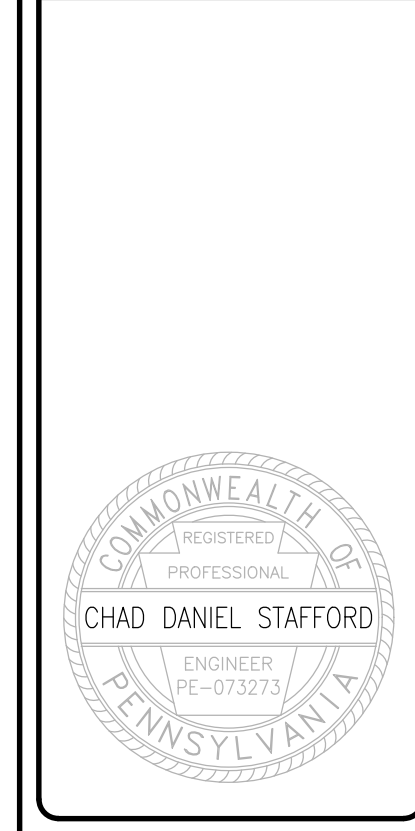
- KEY MAP**
1" = 150'
- PROPOSED FEATURES LEGEND**
- PROPOSED BUILDING
 - PROPOSED CURBING & EDGE OF PAVEMENT
 - PROPOSED CONCRETE SIDWALK
 - PROPOSED CONCRETE AREAS
 - PROPOSED BITUMINOUS PAVEMENT AREAS
 - PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
 - PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

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 Draftsman: MJA
 Proj. Manager: CDS
 Surveyor: XXXX
 Perimeter Ok:
 Book: XXXX Pg. XXXX
 Sheet: 9 - DEVELOPMENT PANEL 2
 Layout: DEVELOPMENT PANEL 2

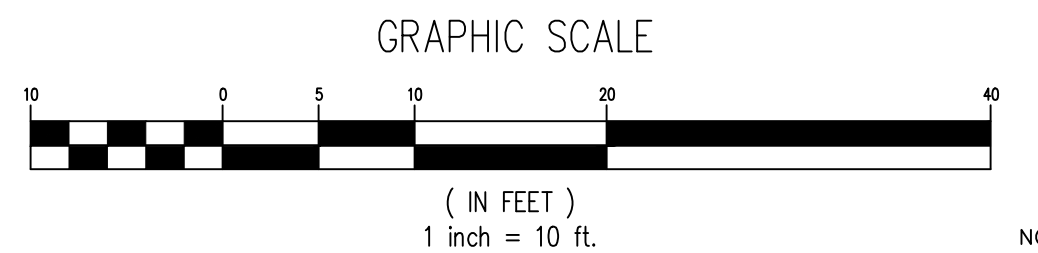
REVISED FOR COMMENTS	REVISIONS

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 COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

**PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLANS**

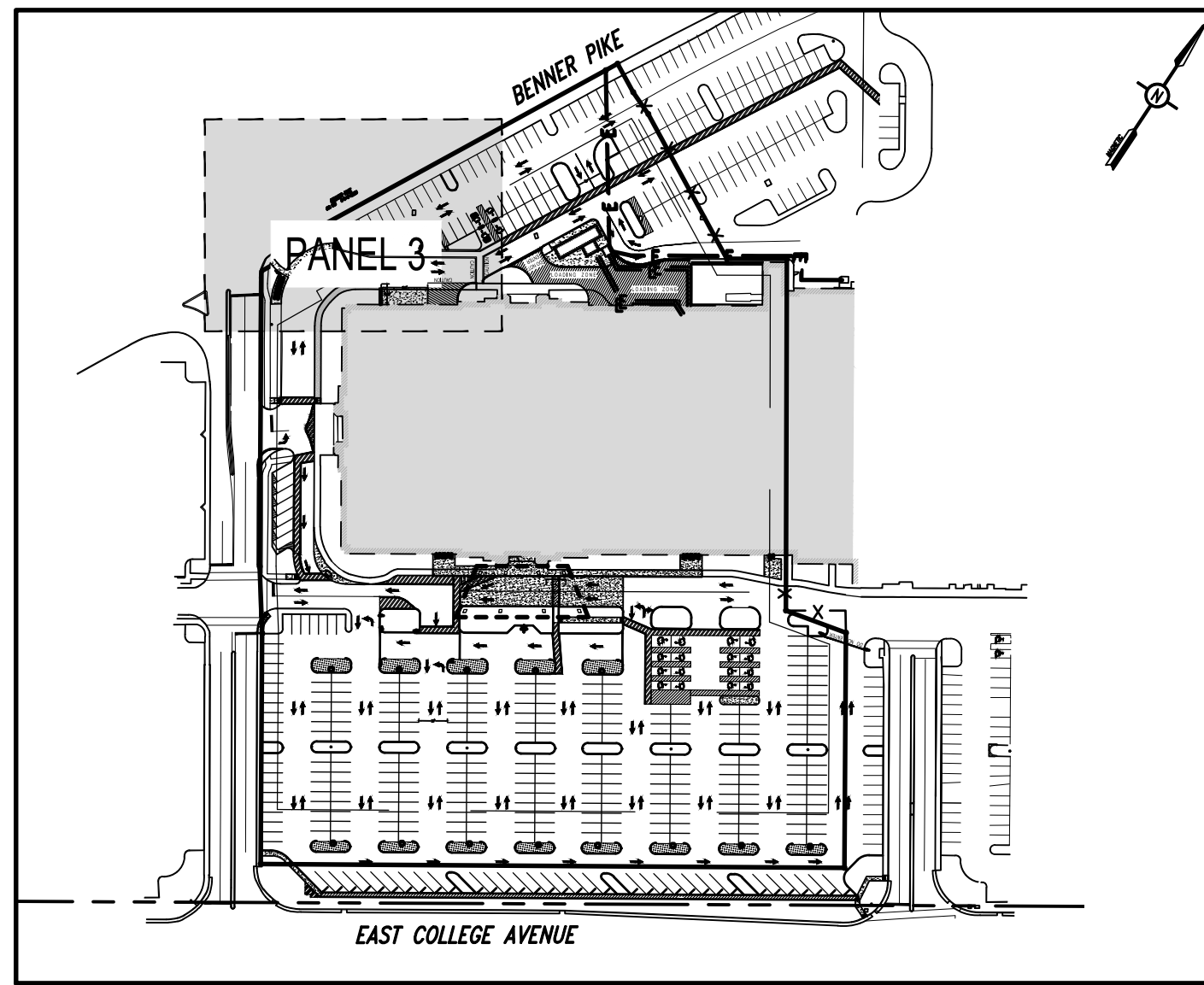
**DEVELOPMENT
 PANEL 2**

PROJECT NO.
20141
 DATE
JULY 12, 2021
 SCALE SHEET NO.
1" = 10' 9



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P:\ddp\2020\20141\Design\pld\final_plans\20141_9_DEVELOPMENT PANEL 2.dwg, 8/4/2021 6:38:16 AM, 1:1



KEY MAP
1" = 150'

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

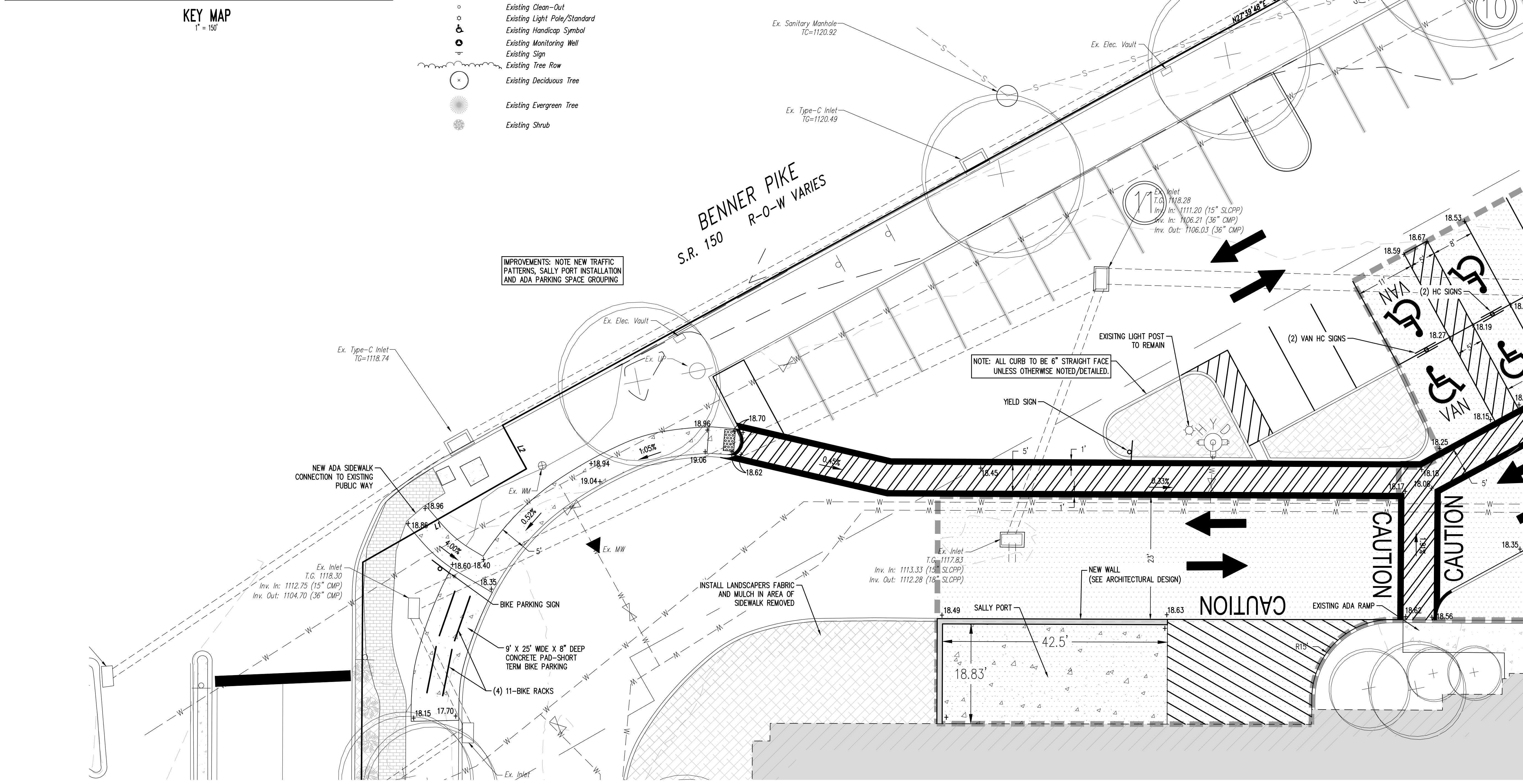
PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

SURVEY FEATURES LEGEND

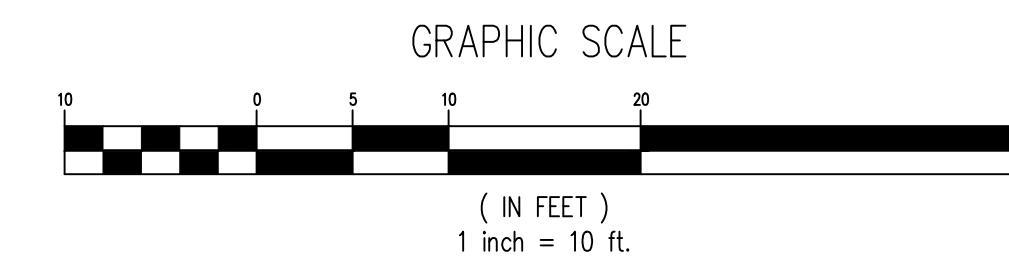
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

IMPROVEMENTS: NOTE NEW TRAFFIC PATTERNS, SALLY PORT INSTALLATION AND ADA PARKING SPACE GROUPING



PANEL 4

PANEL 2



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Draftsman	MJA
Proj. Manager	CDS
Surveyor	XXX
Perimeter Ok.	
Book	XXX Pg. XXX
2014-10 - DEVELOPMENT PANEL 3	
Layout	DEVELOPMENT PANEL 3

NITTANY CASINO

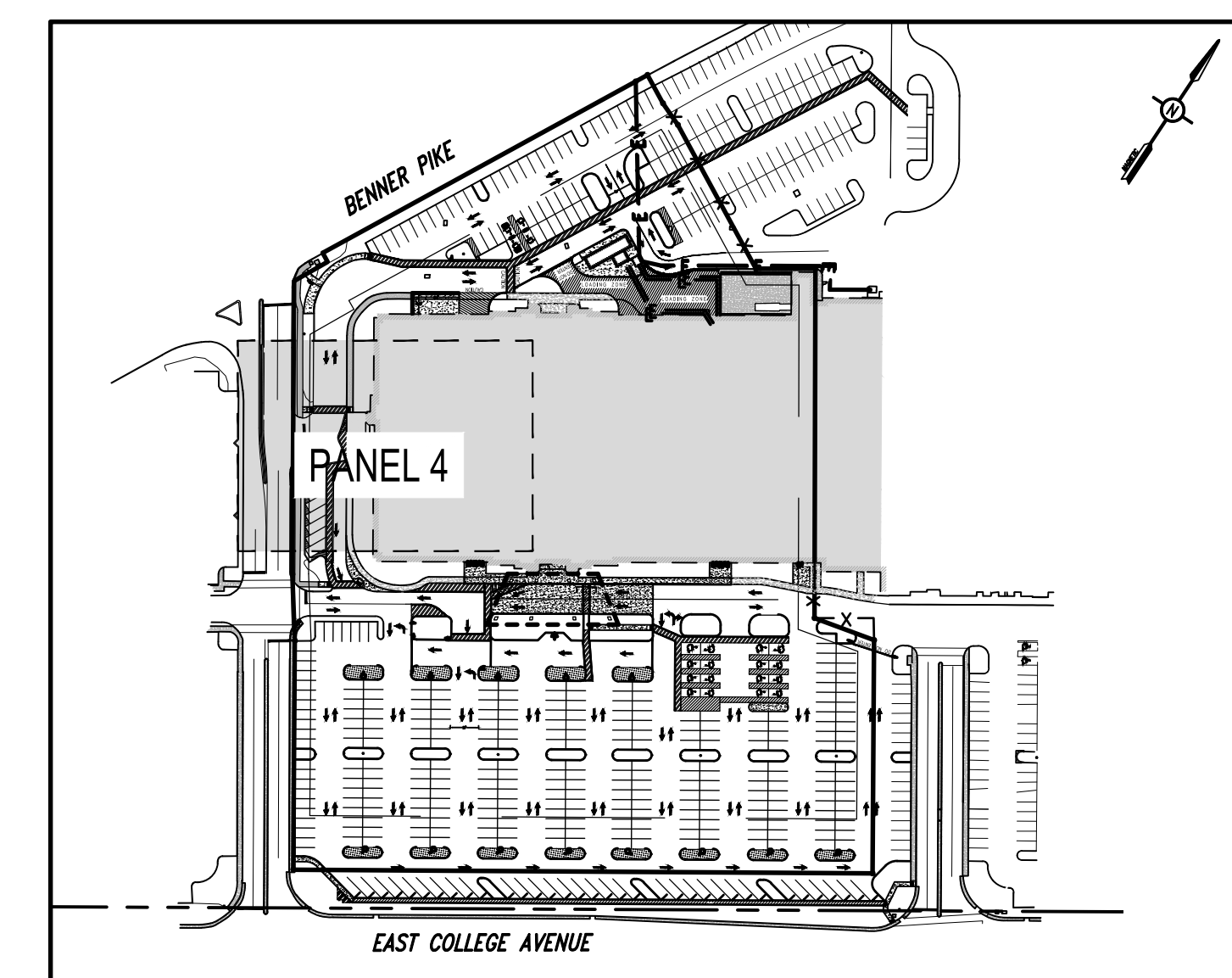
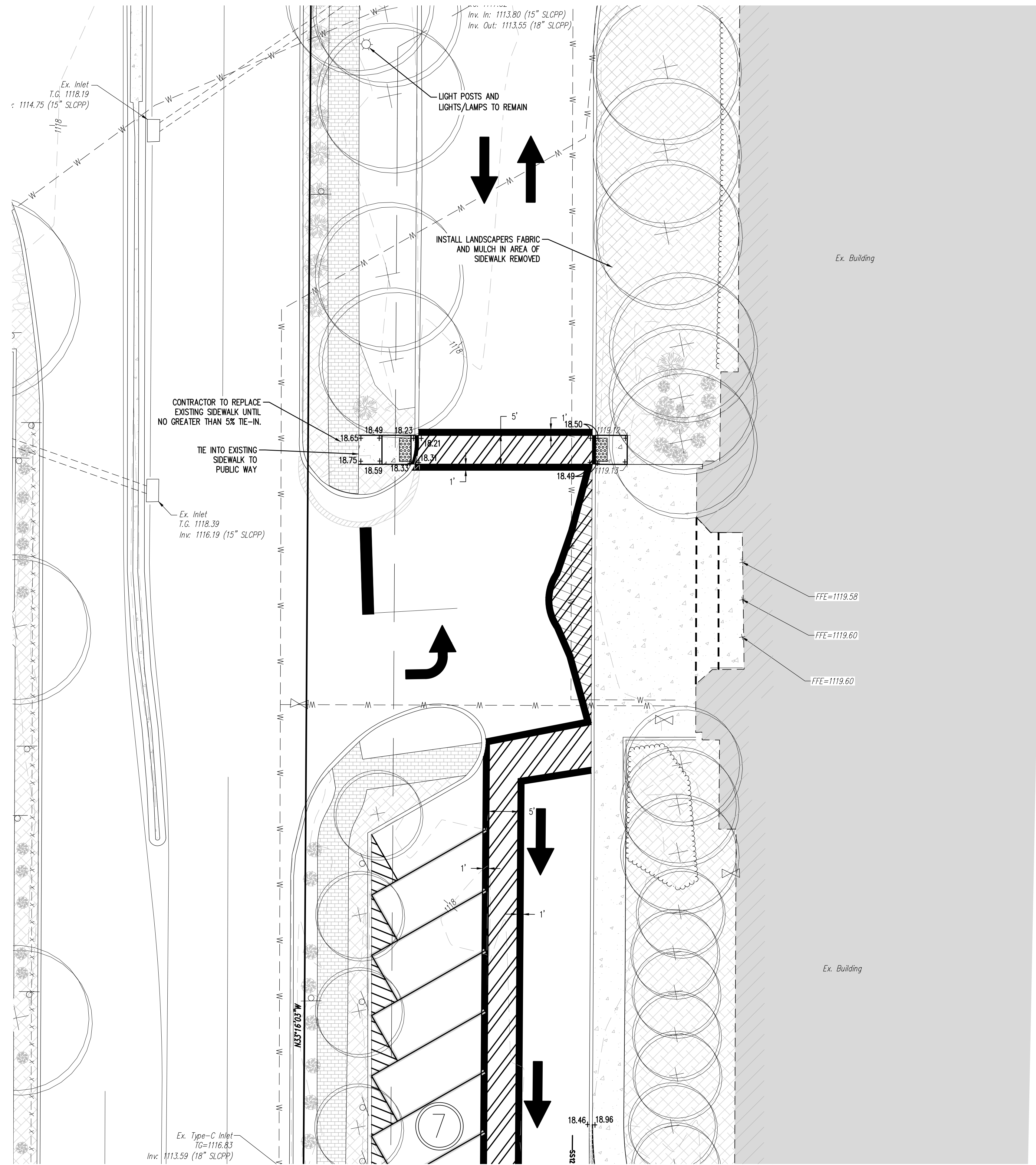
COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

**DEVELOPMENT
PANEL 3**

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 10'
SHEET NO.	10

PANEL 3



KEY MAP

1" = 150'

EXISTING FEATURES LEGEND

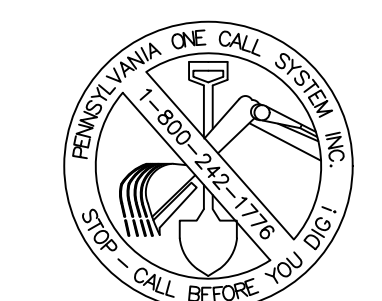
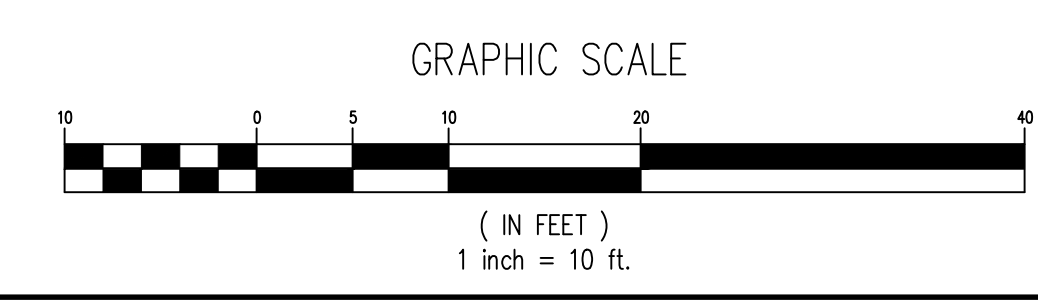
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
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- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
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- Existing Manhole
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- Existing Guy Wire
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- Existing Storm Sewer Inlet Type-C
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- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
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- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
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DESIGNER: MJA
 DRAFTSMAN: MJA
 PROJ. MANAGER: CDS
 SURVEYOR: XXXX
 PERIMETER OK: _____
 BOOK: XXXX Pg. XXXX
 DATE: 11-11-2021 DEVELOPMENT PANEL 4
 LAYOUT: DEVELOPMENT PANEL 4

REVISED FOR COMMENTS	REVISIONS

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COLLEGE TOWNSHIP
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PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLANS

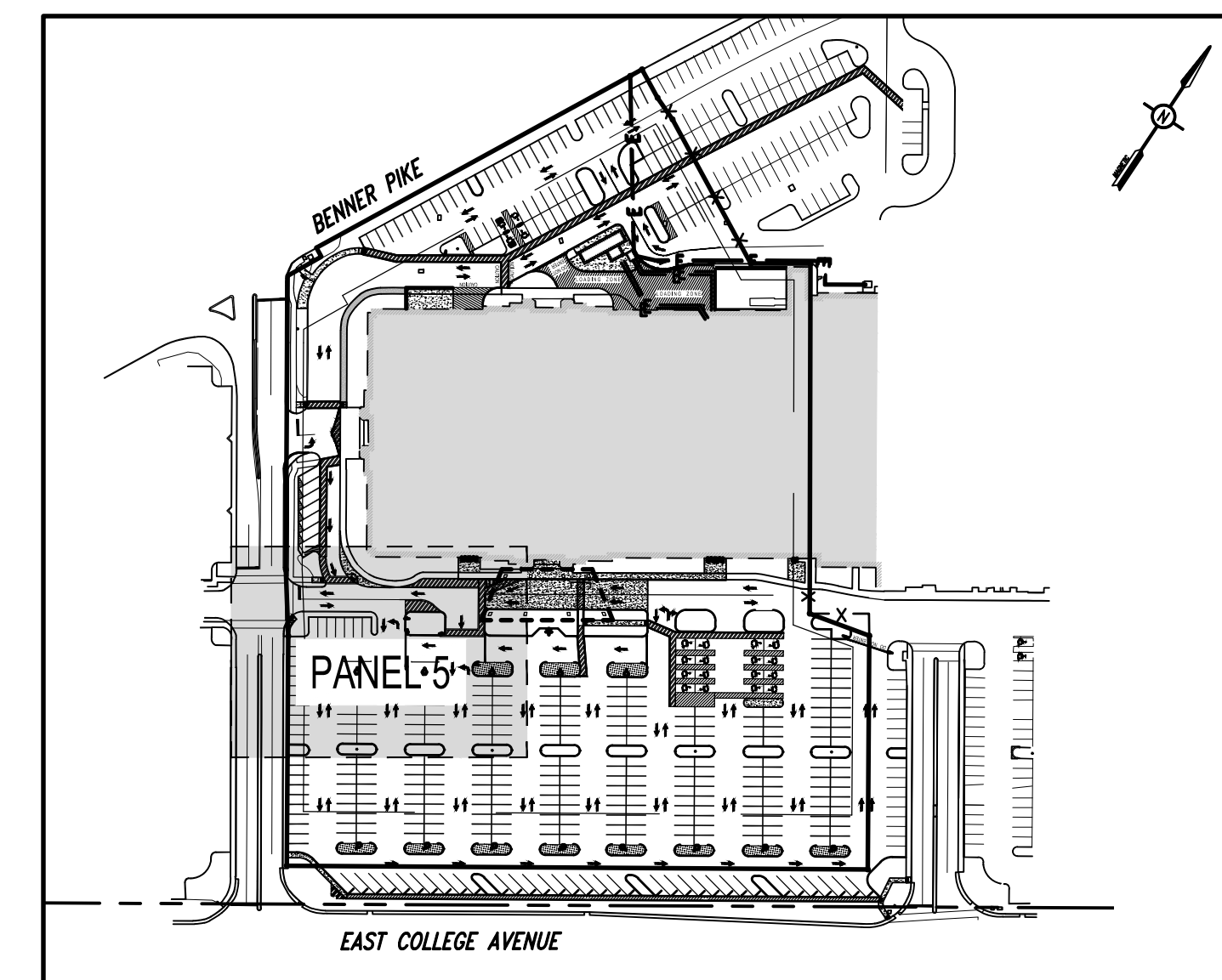
**DEVELOPMENT
 PANEL 4**

PROJECT NO.
20141

DATE
JULY 12, 2021

SCALE SHEET NO.
1" = 10' 11

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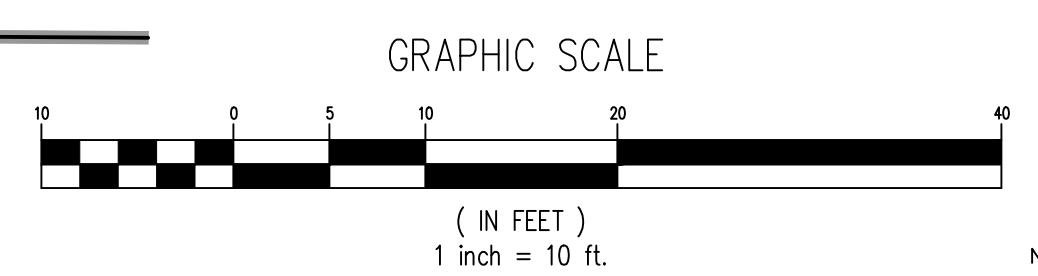
KEY MAP
1" = 150'

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
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- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

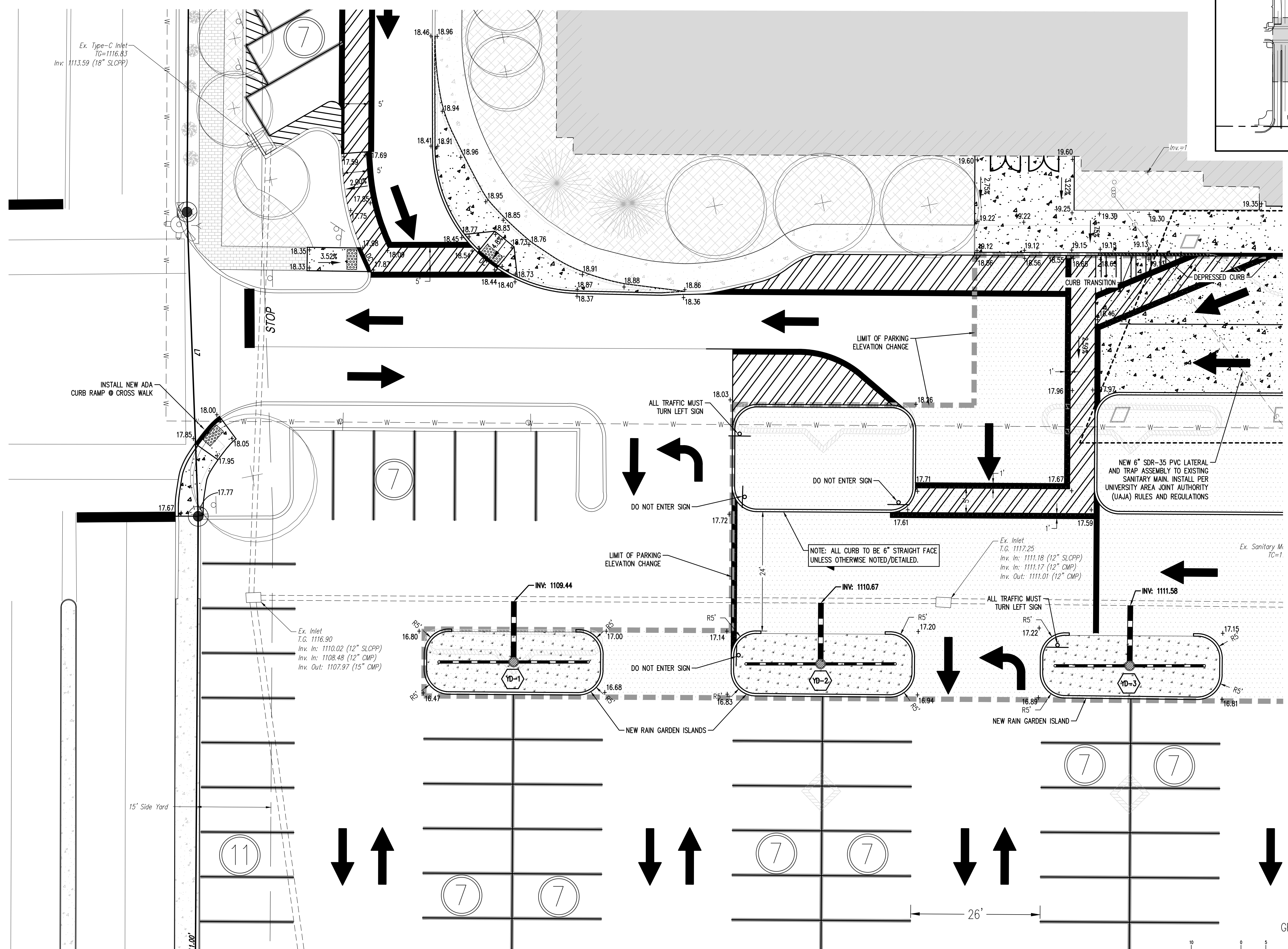
- PROPOSED FEATURES LEGEND**
- PROPOSED BUILDING
 - PROPOSED CURBING & EDGE OF PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE AREAS
 - PROPOSED BITUMINOUS PAVEMENT AREAS
 - PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
 - PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

- SURVEY FEATURES LEGEND**
- Property Line, Lot Line or Right of Way Line
 - Adjoining Property Line
 - Building Setback Line
 - Easement Line
 - Roadway Center Line
 - Municipal Boundary
 - Zoning Boundary
 - Property Corner Found
 - Property Corner To Be Set



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PANEL 4



PANEL 7

PANEL 6

Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ok	
Book	XXX Pg. XXX
201#	12 - DEVELOPMENT PANEL 5
Layout	DEVELOPMENT PANEL 5

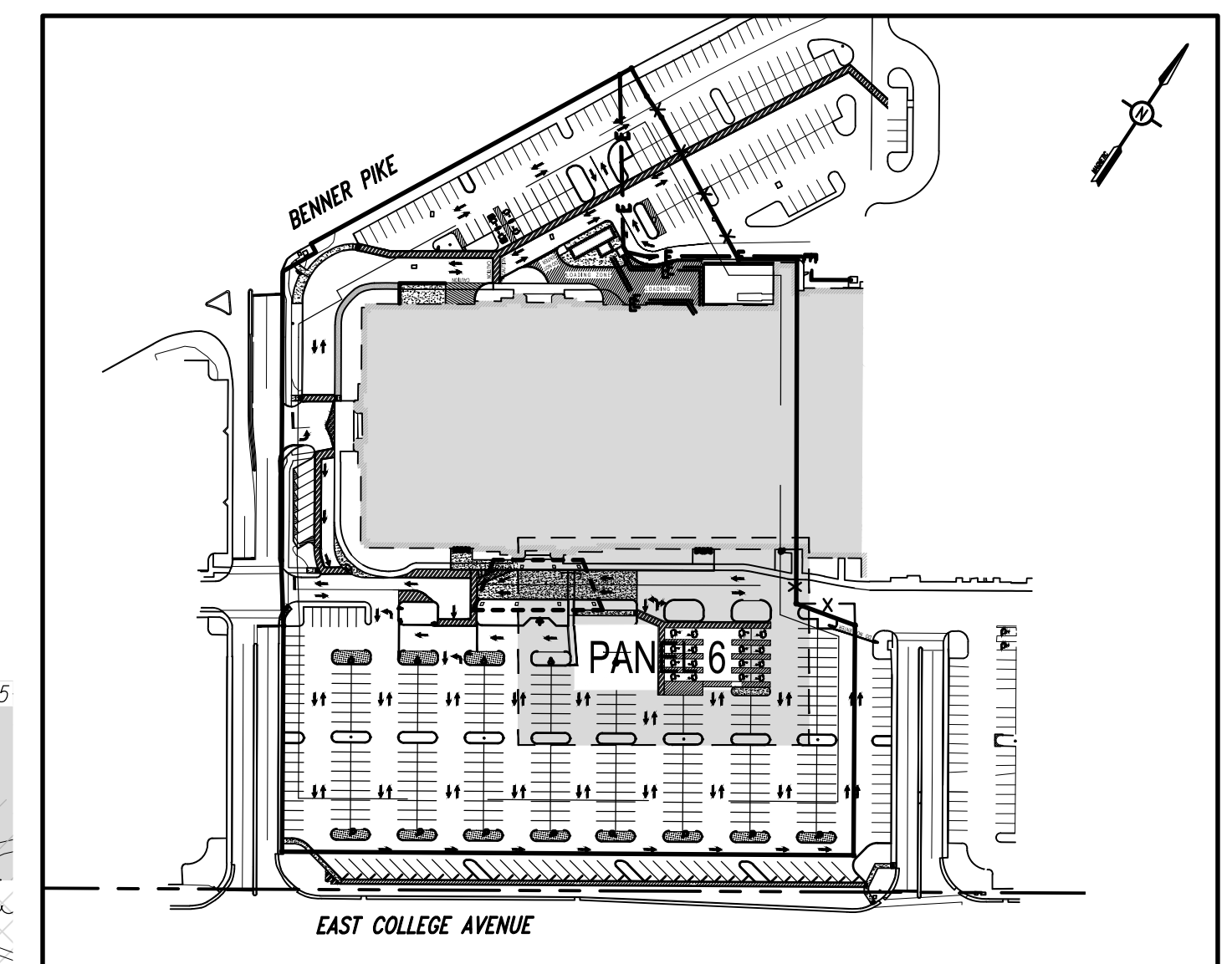
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CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

**DEVELOPMENT
PANEL 5**

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 10'
SHEET NO.	12



KEY MAP
1" = 150'

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
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- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

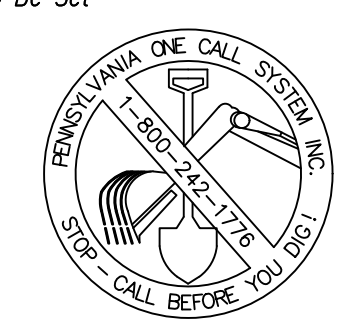
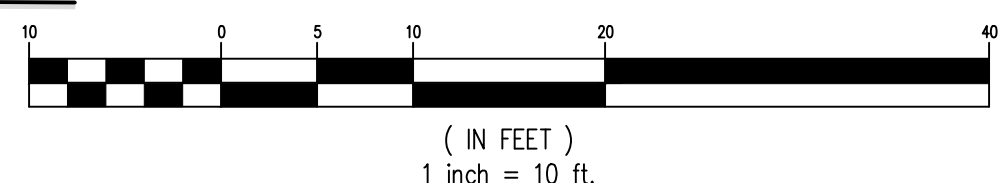
PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

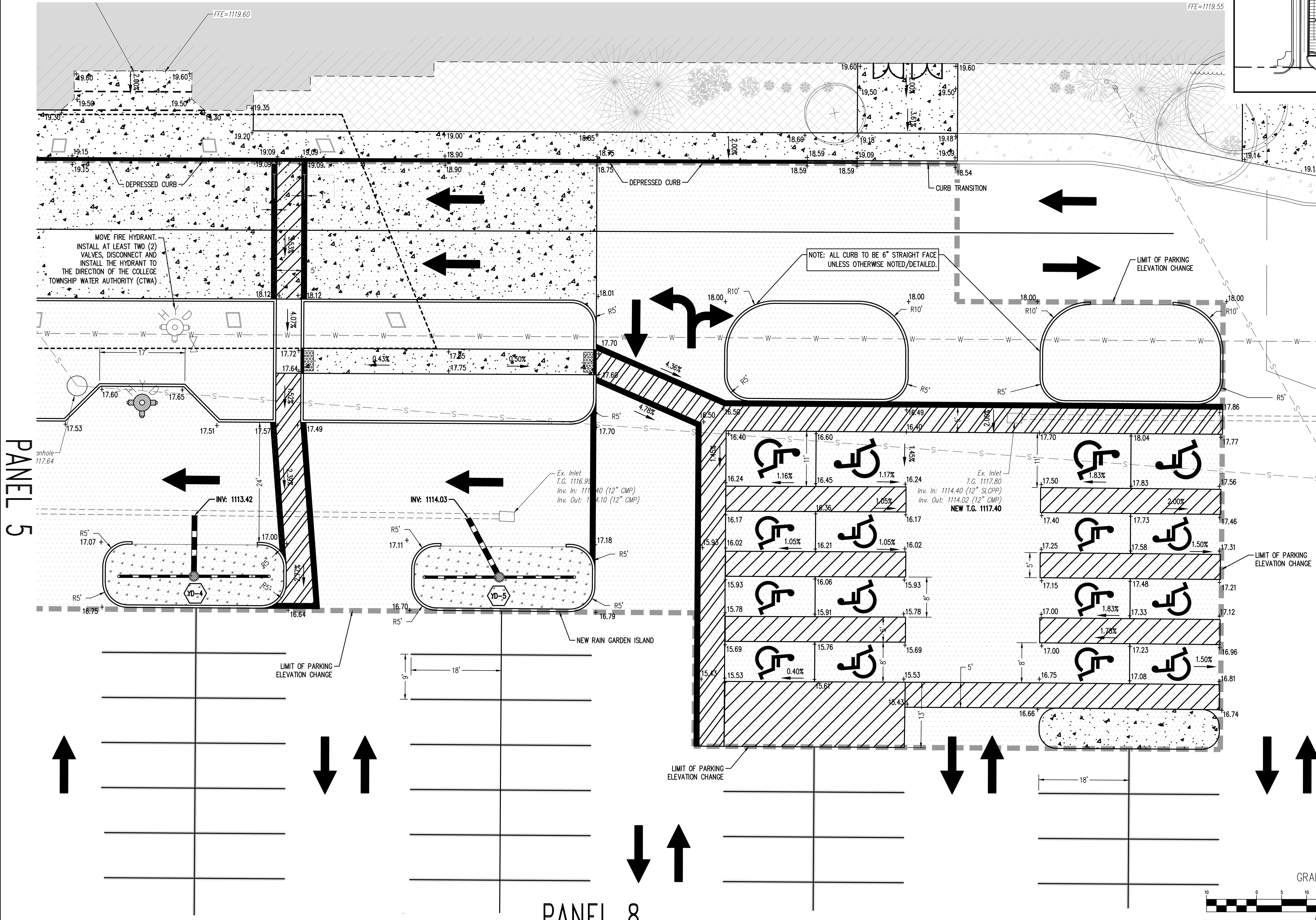
SURVEY FEATURES LEGEND

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- Municipal Boundary
- Zoning Boundary
- Property Corner Found
- Property Corner To Be Set

GRAPHIC SCALE



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PANEL 5

PANEL 8



Designer: MJA
Draftsman: MJA
Proj. Manager: CDS
Surveyor: XXXX
Perimeter Ok.
Book: XXX Pg. XXX
2016-13 - DEVELOPMENT PANEL 6
Layout: DEVELOPMENT PANEL 6

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CENTRE COUNTY
PENNSYLVANIA

**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

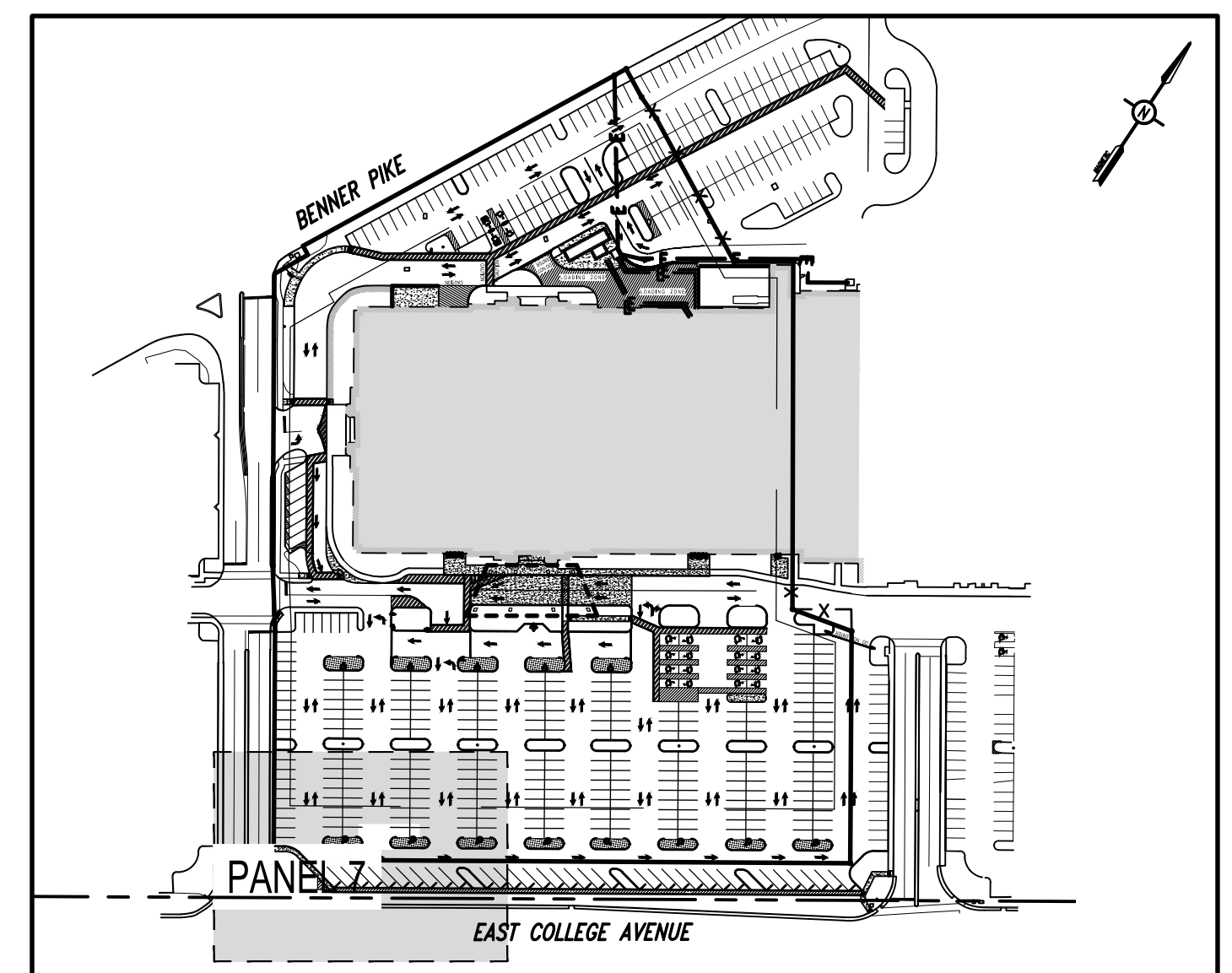
**DEVELOPMENT
PANEL 6**

PROJECT NO.
20141
DATE
JULY 12, 2021
SCALE SHEET NO.
1" = 10' 13

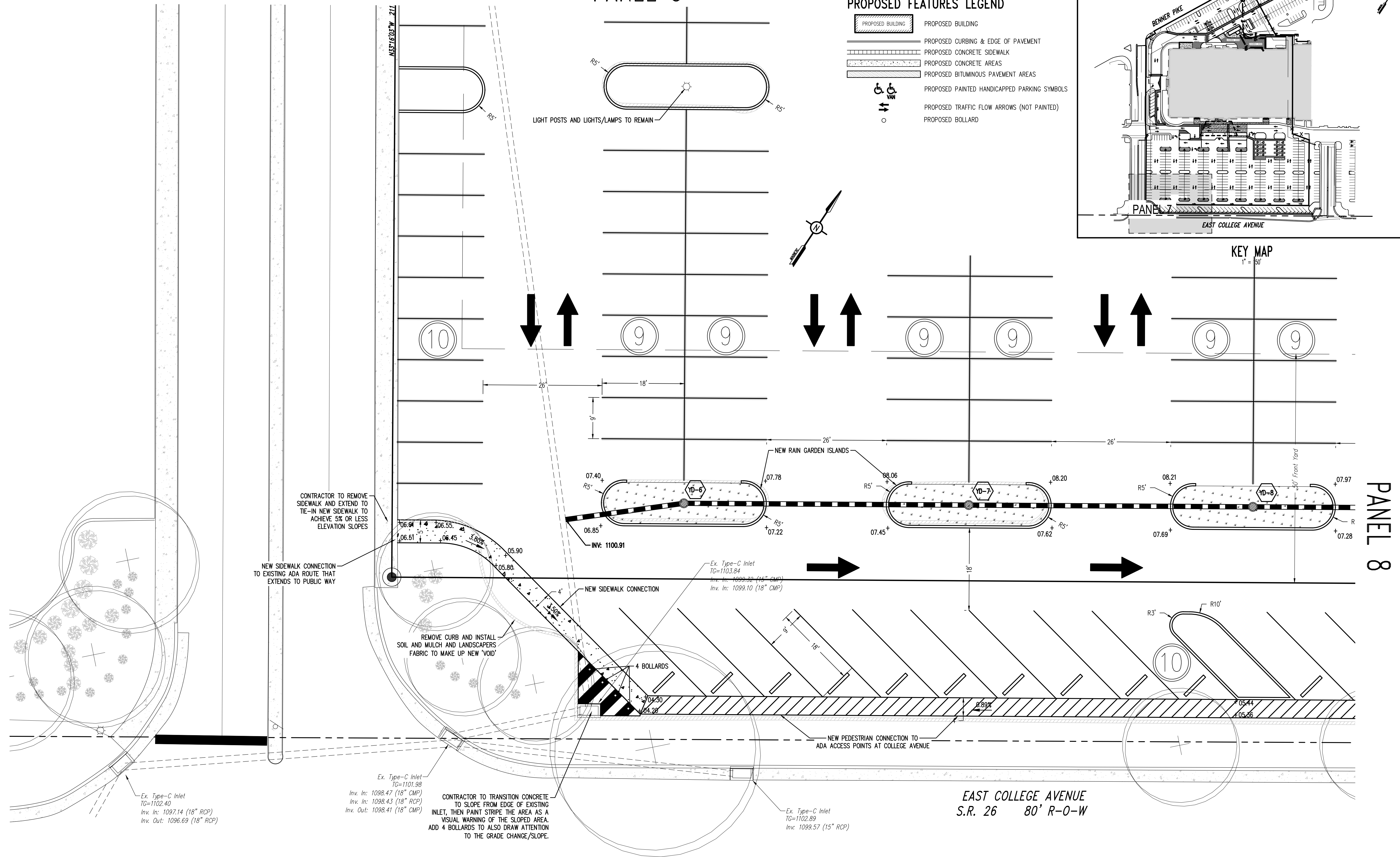
PANEL 5

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)
- PROPOSED BOLLARD

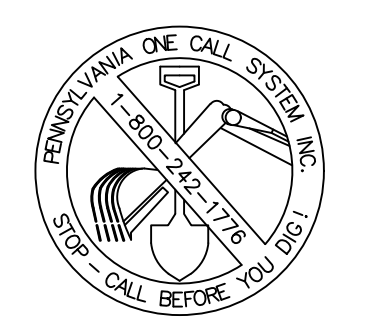
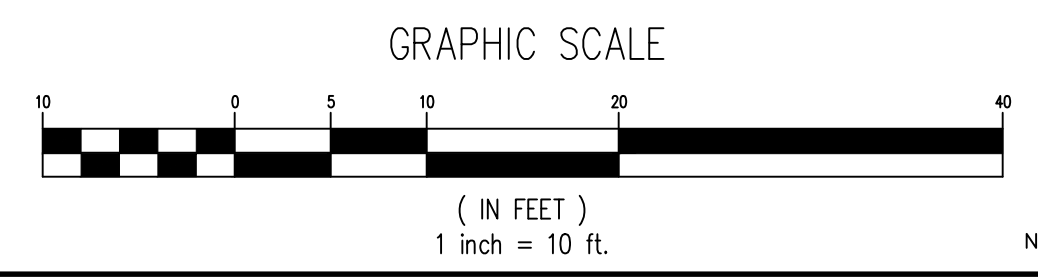


KEY MAP
1" = 50'

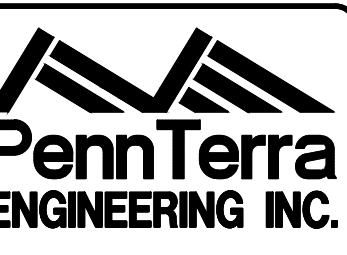


PANEL 8

EAST COLLEGE AVENUE
S.R. 26 80' R-0-W



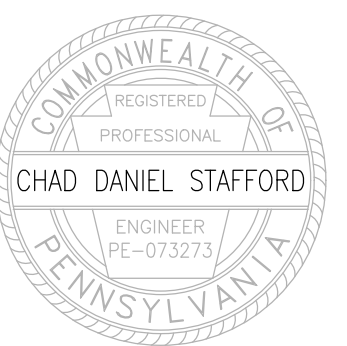
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 Draftsman: MJA
 Proj. Manager: CDS
 Surveyor: XXXX
 Perimeter Ok:
 Book: XXX Pg: XXX
 2014-14 - DEVELOPMENT PANEL 7
 Layout: DEVELOPMENT PANEL 7

NITTANY CASINO

COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

DEVELOPMENT PANEL 7

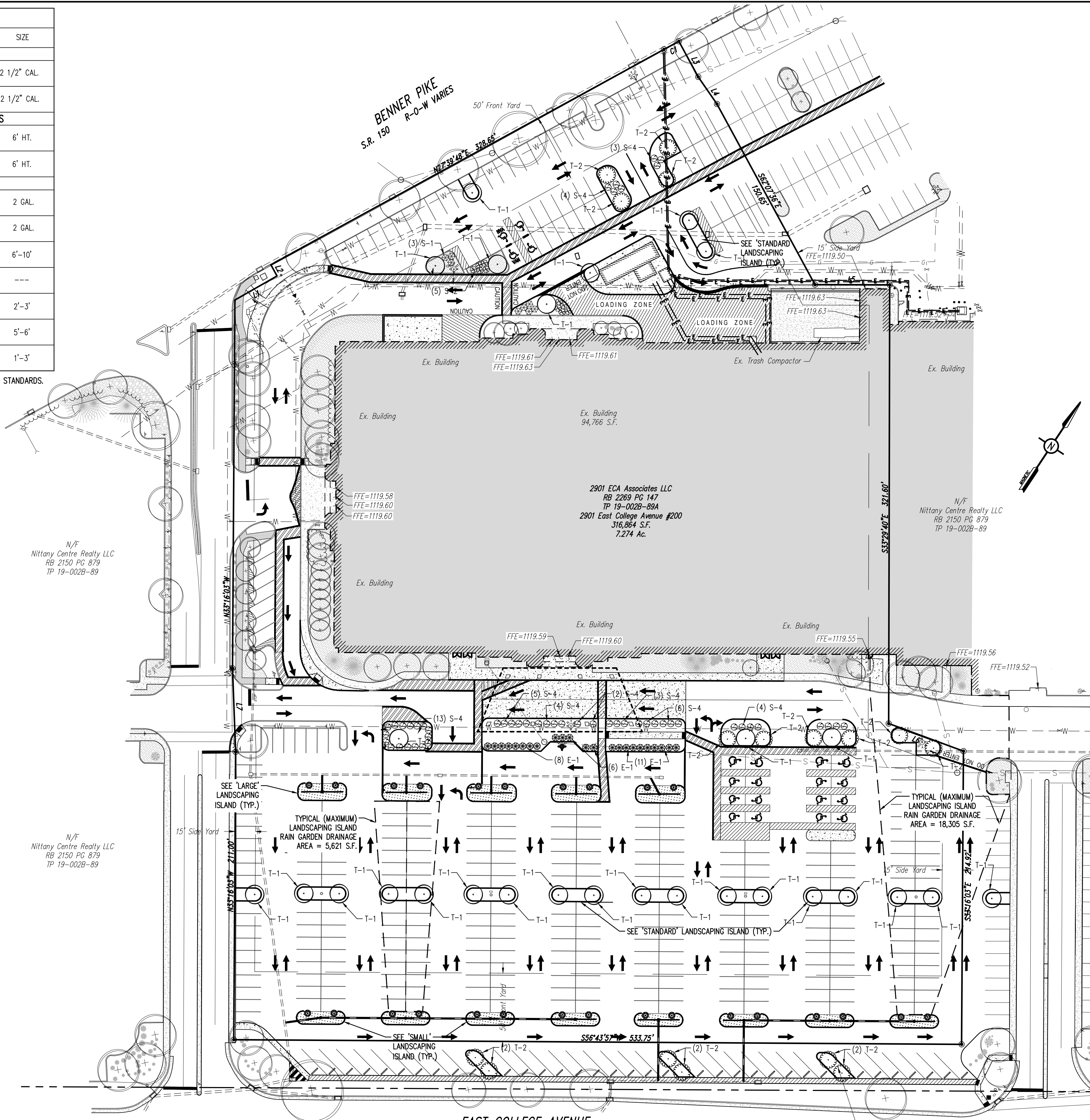
PROJECT NO.
20141
 DATE
JULY 12, 2021
 SCALE SHEET NO.
1" = 10' 14

PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CANOPY TREES					
	T-1	24	ACER BOWHALL	BOWHALL RED	2 1/2" CAL.
	T-2	18	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2 1/2" CAL.
UNDERSTORY/EVERGREEN TREES					
	E-1	23	ARBOVITAE VIRESCENS	EASTERN WHITE PINE	6' HT.
	E-2	26	TAXODIUM DISTICHUM	BALD CYPRESS	6' HT.
SHRUBS					
	S-1	8	SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	2 GAL.
	S-2	58	ROSA 'DRIFT'	DRIFT ROSES	2 GAL.
	S-3	110	ARONIA ARTUTIFOLIA	RED CHOKEBERRY	6"-10"
	S-4	141	CLETHRAOLNIFOLIA	SWEET PEPPERBUSH	---
	S-5	31	PANICUM VIRGOTUM 'SHENANDOAH'	RED SWITCH GRASS	2'-3'
	S-6	39	CALAMAGROSTIS X ACUTIFLORA 'KARI FOERSTER'	FEATHER REED GRASS	5'-6'
	S-7	39	RUDBECKIO FULGIDO 'GOLDSTRUM'	BROWN-EYED SUSAN	1'-3'

NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE COLLEGE TOWNSHIP STANDARDS.

LANDSCAPE NOTES

- Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
- Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
- All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
- Grass must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
- All caliper measurements for landscaping shall be measured at 6" above the root ball.
- Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.

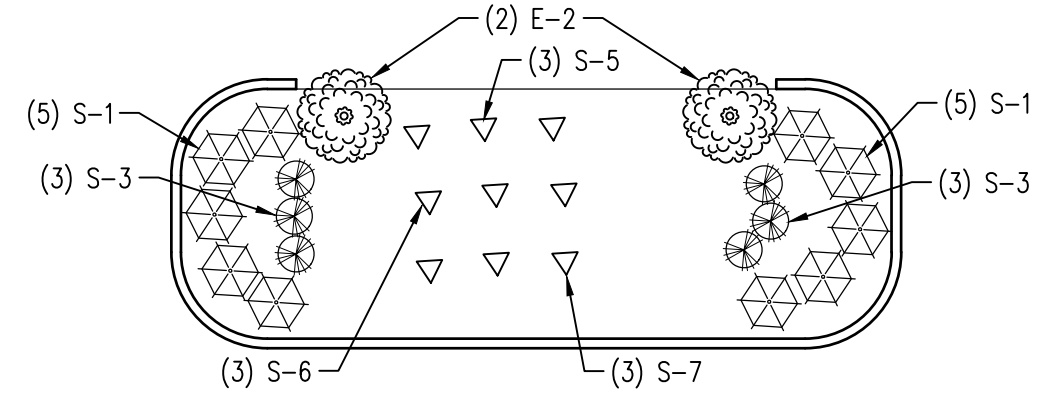
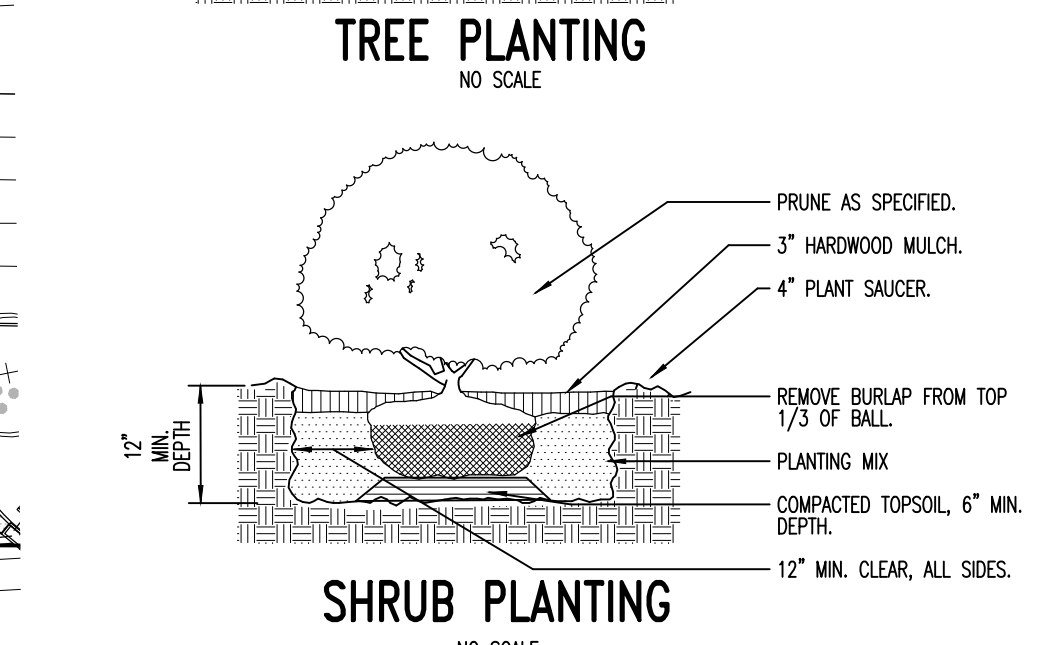
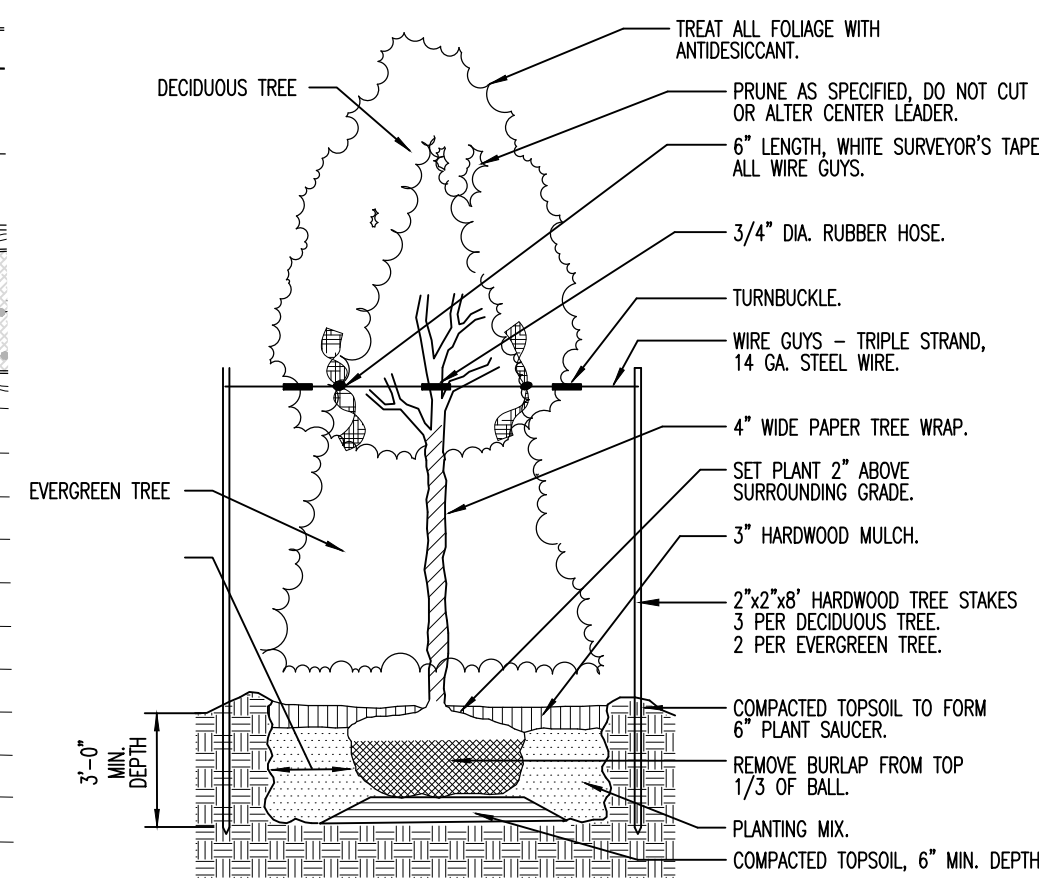


EXISTING FEATURES LEGEND

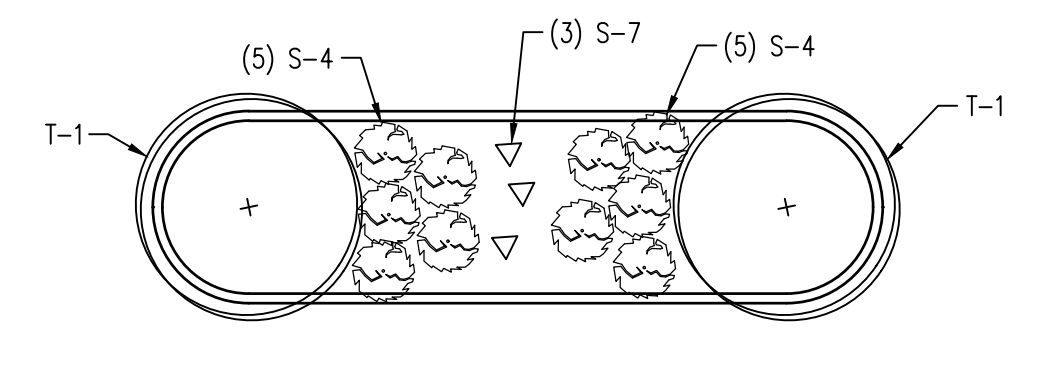
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

PROPOSED FEATURES LEGEND

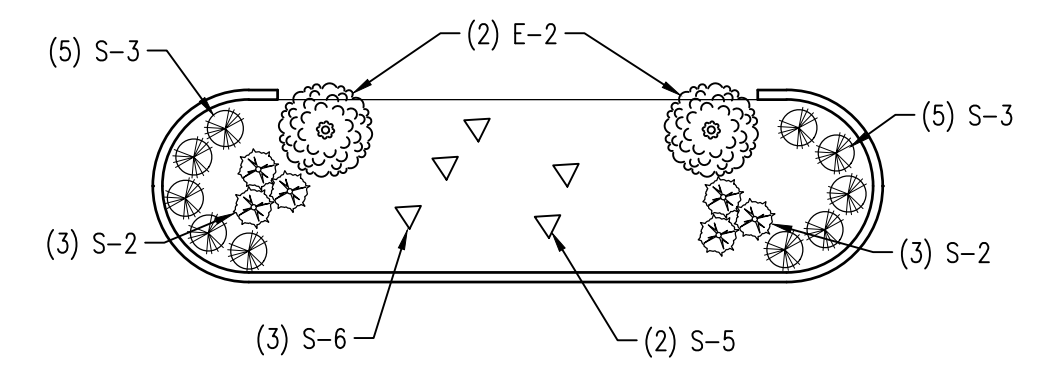
- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED RETAINING WALL
- PROPOSED FIRE HYDRANT
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)



TYPICAL 'LARGE' RAIN GARDEN ISLAND LANDSCAPING PLANTINGS
SCALE: 1" = 10'



TYPICAL 'STANDARD' LANDSCAPING ISLANDS LANDSCAPING PLANTINGS
SCALE: 1" = 10'



TYPICAL 'SMALL' RAIN GARDEN ISLAND LANDSCAPING PLANTINGS
SCALE: 1" = 10'

PennTerra ENGINEERING INC.
CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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COMMONWEALTH OF PENNSYLVANIA
 PROFESSIONAL ENGINEER
 CHAD DANIEL STAFFORD
 ENGINEER PE-073274

Designer	MJA
Draftsman	MJA
Proj/Manager	CDS
Surveyor	XXX
Perimeter Ok.	
Book	XXX Pg. XXX
File #	7 - OVERALL LANDSCAPE PLAN
Layout	LANDSCAPE PLAN

8-3-21	REVIEW FOR COMMENTS
MJA	
Date	Description
	REVISIONS

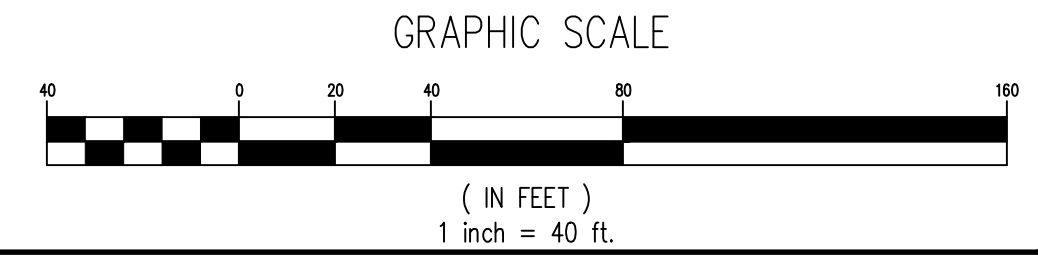
NITTANY CASINO

COLLEGE TOWNSHIP CENTRE COUNTY PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

LANDSCAPE PLAN

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	1" = 40'
SHEET NO.	17



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY



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LANDSCAPE ISLAND RAIN GARDEN

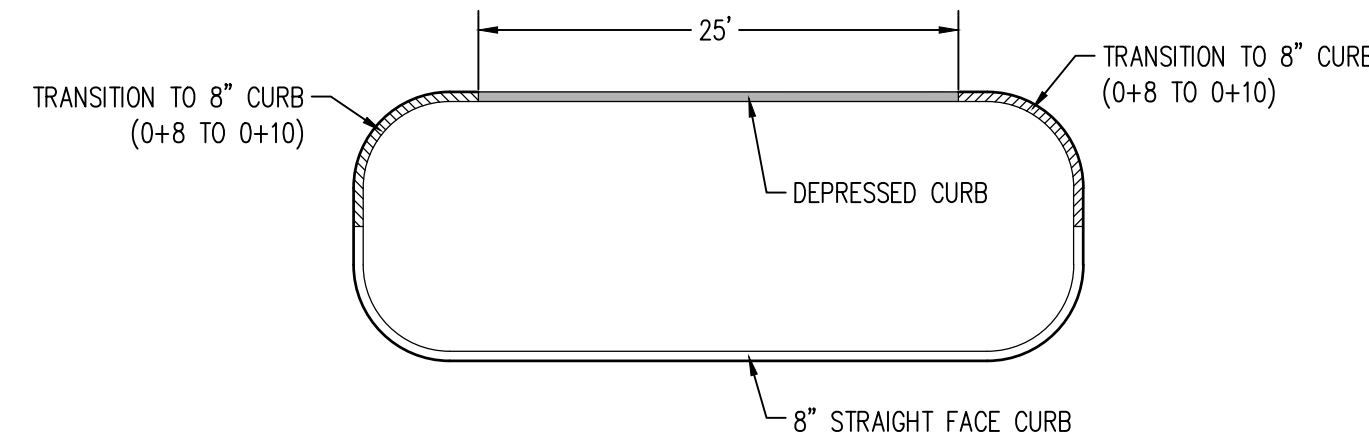
DIMENSIONS:
 'SMALL'- 36" X 10'; 24" DEPRESSED CURB TRANSITIONING TO AN 8" HIGH CURB. DEPTH IS 12 INCHES STONE MEDIA WITH 2 FEET AMENDED SOILS.
 'LARGE'- 36" X 12'; 24" DEPRESSED CURB TRANSITIONING TO AN 8" HIGH CURB. DEPTH IS 12 INCHES STONE MEDIA WITH 2 FEET AMENDED SOILS.
 NOTE: THIS ENVIRONMENTAL PLAN IS BASED ON A TYPICAL MAXIMUM SMALL DRAINAGE AREA (6,750 SQUARE FEET OF IMPERVIOUS AREA) WITH GRAVITY SURFACE FLOW CONVEYING ALL OF THE RAIN WATER TO THE RAIN GARDEN. THIS ENVIRONMENTAL PLAN IS DEPENDENT UPON THE FOLLOWING REQUIREMENTS AND IS PROTOTYPICAL IN NATURE. RAIN GARDENS ARE TYPICALLY DESIGNED ON A CASE-BY-CASE BASIS TO ADDRESS VARIATIONS IN TOPOGRAPHY, PROPERTY CONSTRAINTS, LAYOUTS, SOIL TYPES, AND INFILTRATION RATES.

THIS IS A SIMPLIFIED DESIGN WHICH DOES INCLUDE A 12-INCH UNDERDRAIN AND ASSUMES OVERFLOW FROM THE RAIN GARDEN WILL FLOW INTO THE NEAR STORMWATER COLLECTION AND CONVEYANCE SYSTEM THAT EXISTS IN THE PARKING LOT. ANY POSSIBLE OVERFLOW WOULD OVERTOP THE RAIN GARDEN AND CAN BE DISSIPATED BY OVERLAND FLOW WITHIN THE OWNER'S PROPERTY; UNTIMELY TO THE STORMWATER COLLECTION AND CONVEYANCE PARALLEL WITH EAST COLLEGE AVENUE.

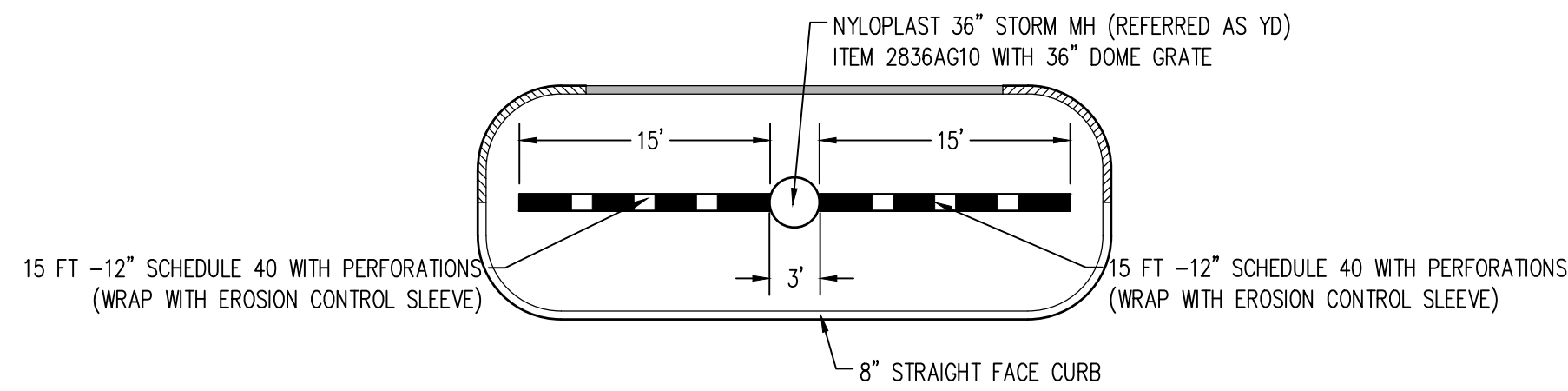
-INFILTRATION TEST RESULTS ARE GREATER THAN 0.5 INCH/HOUR. 2-FEET OF AMENDED SOILS ARE BEING USED TO ACHIEVE WATER QUALITY IMPROVEMENTS.
 -DRAWDOWN OF PONDED WATER WITHIN THE RAIN GARDEN SHOULD BE ACHIEVED WITHIN 24-48 HOURS.

SEQUENCE OF CONSTRUCTION OF THE LANDSCAPE ISLAND RAIN GARDEN

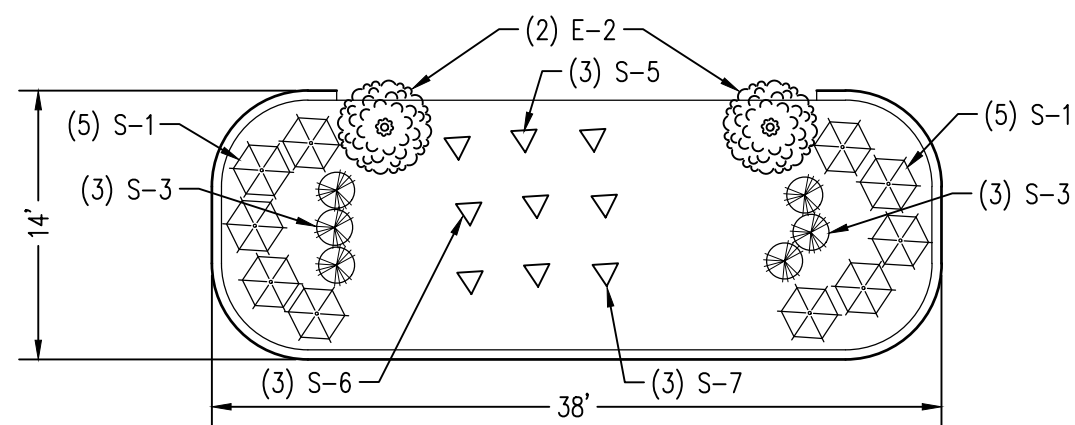
1. MARK OUTLINE OF RAIN GARDEN AREA.
2. REMOVE SOILS TO INVERT DEPTH OF THE YARD DRAIN FOR PLANNED INSTALLATION OF THE YARD DRAIN. ADDITIONALLY REMOVE AT LEAST 2"-8" (32") OF EXISTING SITE EARTHEN MATERIAL. THE RAIN GARDEN WILL HAVE INSTALLED 12" OF STONE ATOP 24" OF ENGINEERED MEDIA, MINIMUM.
3. CONSTRUCT THE CURB ISLAND. 24 FEET OF THE NORTHMOST FACING SIDE SHALL BE A DEPRESSED CURB THAT WILL TRANSITION TO AN 8 INCH CURB.
4. INSTALL THE YARD DRAIN AND OUTLET PIPE TO THE APPROPRIATE STORM WATER COLLECTION SYSTEM AS DEPICTED ON THE PLANS.
5. INSTALL/BACKFILL WITH SOIL TO A DEPTH OF 3"-2" BELOW THE ISLAND FINISH GRADES. ADD 2 INCHES OF WELL-DECOMPOSED COMPOST TO THE RAIN GARDEN 'BASIN FLOOR' AND TILL INTO EXISTING SOIL.
6. INSTALL WOOD FIBER OR EROSION CONTROL FABRIC OVER ENTIRE SOIL AND COMPOST MIX.
7. INSTALL 12" PERFORATED SCHEDULE 40 LATERALS; 15 FEET LONG, EACH AND SLOPED AT 1/2% BACK TO THE YARD DRAIN. WRAP THE PERFORATED PIPE WITH AN EROSION CONTROL WRAP OR SLEEVE TO KEEP DEBRIS FROM CLOGGING THE PIPES/DOWNSPOUT.
8. INSTALL TWO FEET OF AMENDED SOILS IN THREE LIFTS. SOAK EACH 8" LIFT OF THE RAIN GARDEN WITH WATER ALLOWING SOIL TO SETTLE. RAKE TOP COURSE TO FINAL GRADE.
9. INSTALL PLANTS.
10. APPLY 12 INCHES OF CLEAN LIMESTONE OR RIVER ROCK-LIKE FINISH STONE, IN TWO LAYERS, RAKE TOP LAYER. THE 24 FEET OPENING SHALL HAVE ONLY 4 INCHES OF STONE APPLIED; INCREASING TO 12 INCHES WITH FINAL APPLICATION.
11. WATER PLANTS 3 TIMES PER WEEK FOR THE FIRST MONTH FOLLOWING INSTALLATION.



TYPICAL RAIN GARDEN ISLAND CURB CONSTRUCTION
 SCALE: 1" = 10'

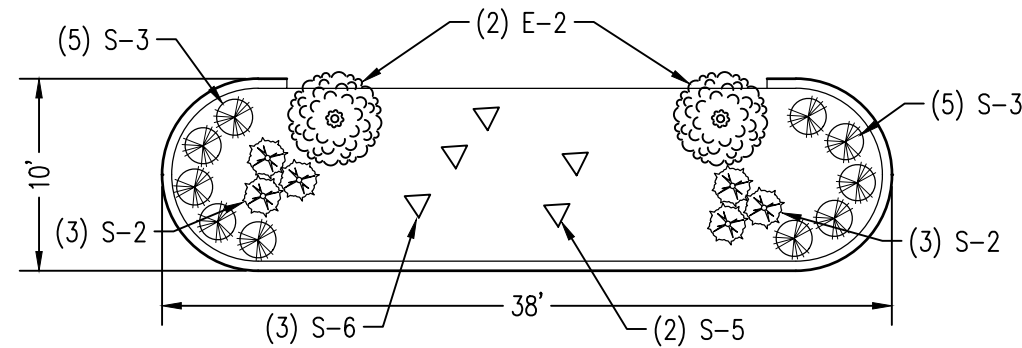


TYPICAL RAIN GARDEN STORMWATER PIPING / MH SYSTEM
 SCALE: 1" = 10'



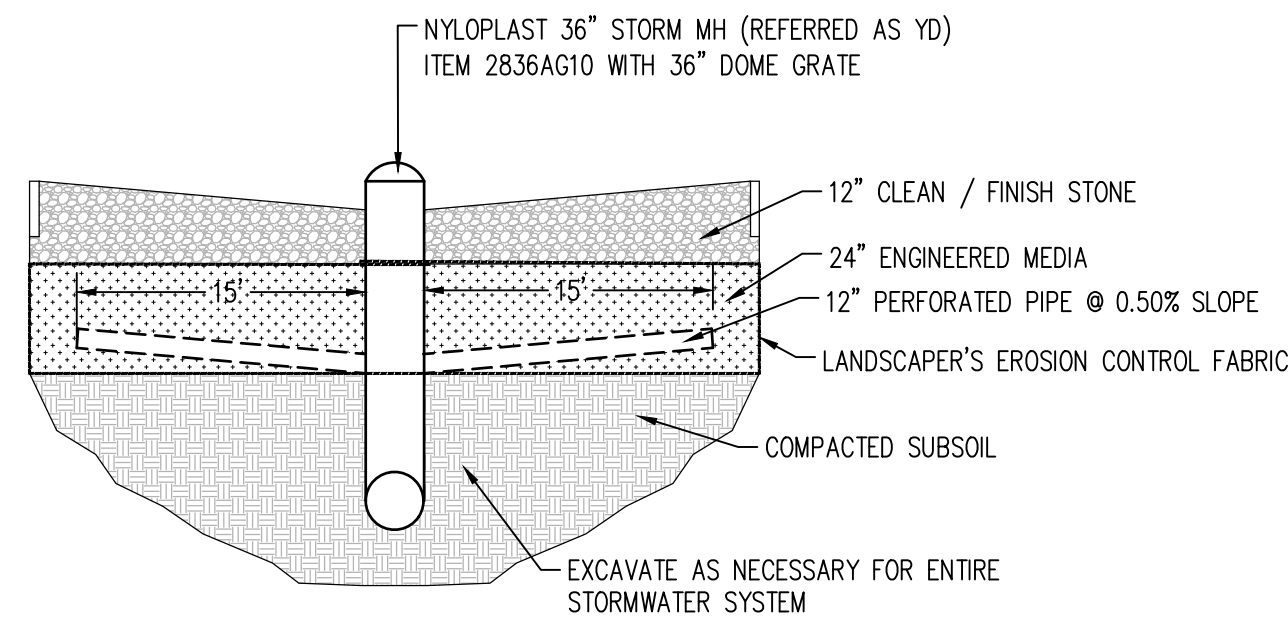
TYPICAL 'LARGE' RAIN GARDEN ISLAND LANDSCAPING PLANTINGS
 SCALE: 1" = 10'

*SEE SHEET 17 FOR PLANTINGS

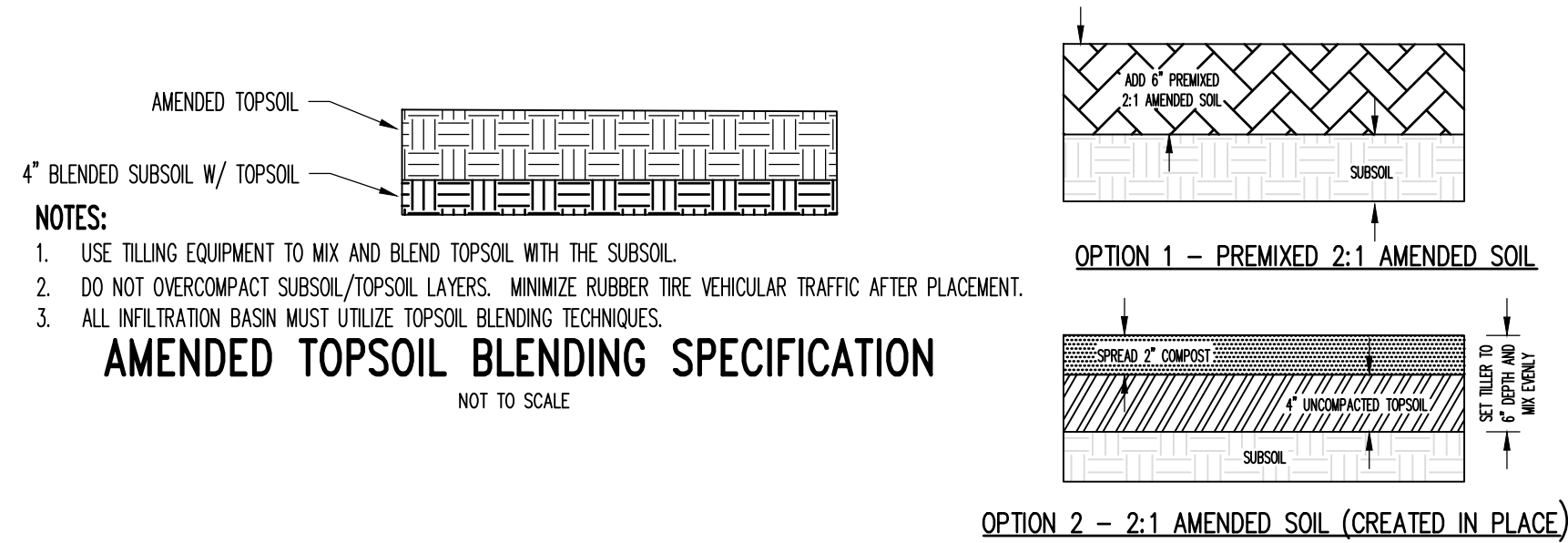


TYPICAL 'SMALL' RAIN GARDEN ISLAND LANDSCAPING PLANTINGS
 SCALE: 1" = 10'

*SEE SHEET 17 FOR PLANTINGS



TYPICAL RAIN GARDEN CONSTRUCTION SECTION
 SCALE: HOR. - 1" = 10'
 VERT. - N.T.S



AMENDED TOPSOIL BLENDING SPECIFICATION
 NOT TO SCALE

SOIL AMENDMENTS

SOIL AMENDMENTS SHALL BE APPLIED TO THE AREAS NOTED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

- OPTION 1 - SOIL AMENDMENT APPLICATION - PREMIXTURE WITH TOPSOIL (AREAS AT SUBGRADE AND LITTLE TO NO TOPSOIL IN PLACE)**
- A) SOIL AMENDMENT MEDIA CAN INCLUDE COMPOST, MULCH, MANURES, SAND, AND MANUFACTURED MICROBIAL SOLUTIONS.
 - B) PREPARE A MIXTURE OF TOPSOIL AND COMPOST AT A RATE OF 2:1 (TOPSOIL:COMPOST). IF A PROPRIETARY PRODUCT IS USED, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED IN TERMS OF MIXING AND APPLICATION RATE.
 - C) SOIL RESTORATION SHOULD NOT BE USED ON SLOPES GREATER THAN 30% IN THESE AREAS. DEEP-ROOTED VEGETATION CAN BE USED TO INCREASE STABILITY.
 - D) SOIL RESTORATION SHOULD NOT TAKE PLACE WITHIN THE DRIP LINE OF A TREE TO AVOID DAMAGING THE ROOT SYSTEM.
 - E) ON-SITE SOILS WITH AN ORGANIC CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED (TO MAINTAIN ORGANIC CONTENT) AND REUSED.
 - F) SPREAD MIXTURE REFERENCED IN ITEM B. TO A MINIMUM DEPTH OF 6 INCHES OVER THE ENTIRE PROPOSED LAWN AREA.
 - G) THE SOIL AMENDMENT MIXTURE MUST NOT BE COMPACTED.
- OPTION 2 - SOIL AMENDMENT APPLICATION - PRESPREAD TOPSOIL (AREAS WITH EXISTING TOPSOIL IN PLACE)**
- A) SOIL AMENDMENT MEDIA CAN INCLUDE COMPOST, MULCH, MANURES, SAND, AND MANUFACTURED MICROBIAL SOLUTIONS.
 - B) COMPOST SHOULD BE ADDED AT A RATE OF 2:1 (SOIL:COMPOST). IF A PROPRIETARY PRODUCT IS USED, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED IN TERMS OF MIXING AND APPLICATION RATE.
 - C) SOIL RESTORATION SHOULD NOT BE USED ON SLOPES GREATER THAN 30% IN THESE AREAS. DEEP-ROOTED VEGETATION CAN BE USED TO INCREASE STABILITY.
 - D) SOIL RESTORATION SHOULD NOT TAKE PLACE WITHIN THE DRIP LINE OF A TREE TO AVOID DAMAGING THE ROOT SYSTEM.
 - E) ON-SITE SOILS WITH AN ORGANIC CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED (TO MAINTAIN ORGANIC CONTENT) AND REUSED.
 - F) SPREAD 2 INCHES OF COMPOST ON THE EXISTING TOPSOIL (PROPOSED LAWN AREA) AND TILL WITH A TILLER THAT IS SET TO A DEPTH OF 6 INCHES.
 - G) THE SOIL AMENDMENT MIXTURE MUST NOT BE COMPACTED.

SOIL AMENDMENTS
 NOT TO SCALE

PROPOSED STORM DRAINAGE STRUCTURE DATA										
ID	STRUCTURE TYPE	TG ELEV	INVERT IN	INVERT OUT	PIPE RUN PIPE TYPE	LENGTH (FT)	SIZE (IN)	SLOPE (%)		
YD-1	36" Nyloplast Storm MH with Bee Hive Top	1117.00	1114.00	12" Perf Sch 40	1110.00	To Existing SW	CMP	11	12	5
			1114.00	12" Perf Sch 40						
YD-2	36" Nyloplast Storm MH with Bee Hive Top	1117.20	1114.20	12" Perf Sch 40	1111.22	To Existing SW	CMP	11	12	5
			1114.20	12" Perf Sch 40						
YD-3	36" Nyloplast Storm MH with Bee Hive Top	1117.22	1114.22	12" Perf Sch 40	1112.13	To Existing SW	CMP	11	12	5
			1114.22	12" Perf Sch 40						
YD-4	36" Nyloplast Storm MH with Bee Hive Top	1117.07	1114.07	12" Perf Sch 40	1113.97	To Existing SW	CMP	11	12	
			1114.18	12" Perf Sch 40	1114.63	To Existing SW	CMP	12.5	12	5
YD-5	36" Nyloplast Storm MH with Bee Hive Top	1117.18	1114.18	12" Perf Sch 40						
			1104.78	12" Perf Sch 40	1101.41	To Existing SW	CMP	25	15	2
YD-6	36" Nyloplast Storm MH with Bee Hive Top	1107.78	1104.78	12" Perf Sch 40						
			1105.20	12" Perf Sch 40	1102.71	YD-7 to YD-6	HDPEP	60	15	2
YD-7	36" Nyloplast Storm MH with Bee Hive Top	1108.20	1105.20	12" Perf Sch 40						
			1105.21	12" Perf Sch 40	1103.91	YD-8 to YD-7	HDPEP	60	15	2
YD-8	36" Nyloplast Storm MH with Bee Hive Top	1108.21	1105.21	12" Perf Sch 40						
			1104.98	12" Perf Sch 40	1104.61	YD-9 to YD-8	HDPEP	60	15	1
YD-9	36" Nyloplast Storm MH with Bee Hive Top	1107.98	1104.98	12" Perf Sch 40						
			1105.03	12" Perf Sch 40	1102.53	To Existing SW	CMP	43.5	15	1
YD-10	36" Nyloplast Storm MH with Bee Hive Top	1108.03	1105.03	12" Perf Sch 40						
			1105.14	12" Perf Sch 40	1102.76	To Existing SW	CMP	43.5	15	1
YD-11	36" Nyloplast Storm MH with Bee Hive Top	1108.14	1105.14	12" Perf Sch 40						
			1105.66	12" Perf Sch 40	1104.06	YD-12 to YD-11	HDPEP	60	12	2
YD-12	36" Nyloplast Storm MH with Bee Hive Top	1108.66	1105.66	12" Perf Sch 40						
			1105.95	12" Perf Sch 40	1105.36	YD-13 to YD-12	HDPEP	60	12	2
YD-13	36" Nyloplast Storm MH with Bee Hive Top	1108.95	1105.95	12" Perf Sch 40						

36" (900 MM) STORM MANHOLE SPECIFICATION

SCOPE
 This specification describes the 36" (900 mm) Storm Manhole for use in underground stormwater applications.

JOINT PROPERTIES
 36" (900 mm) Storm Manholes and their reducing cones shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

Gaskets shall be made from material meeting the requirements of ASTM F477.

Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

PERFORMANCE
 The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals.

Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast.

INSTALLATION
 36" Storm Manholes shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of Class 1, Class 2, or Class 3 materials as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. Contact Nyloplast Engineering in Buford, GA for installation recommendations.

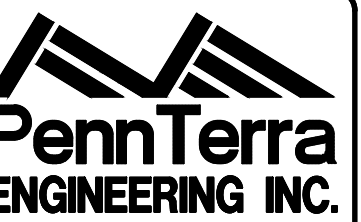
36" STORM MANHOLE

Ask a local representative for a complete listing of specifications, details and pricing. Visit www.nyloplast-us.com or call 866-888-8479 for project support.

Try the Online Drain Basin Configurator at www.basinconfigurator.com. Create a custom drain basin in minutes and get the documentation needed to specify parts and get pricing.

THE MOST ADVANCED NAME IN WATER MANAGEMENT SOLUTIONS™

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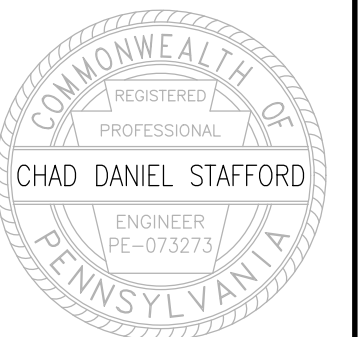
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Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ok	
Book	XXX Pg XXX
201#	- 18 - CONSTRUCTION DETAILS
Layout	CONSTRUCTION DETAILS

8-3-20	REVIEW FOR COMMENTS
MJA	
Date	Description
	REVISIONS

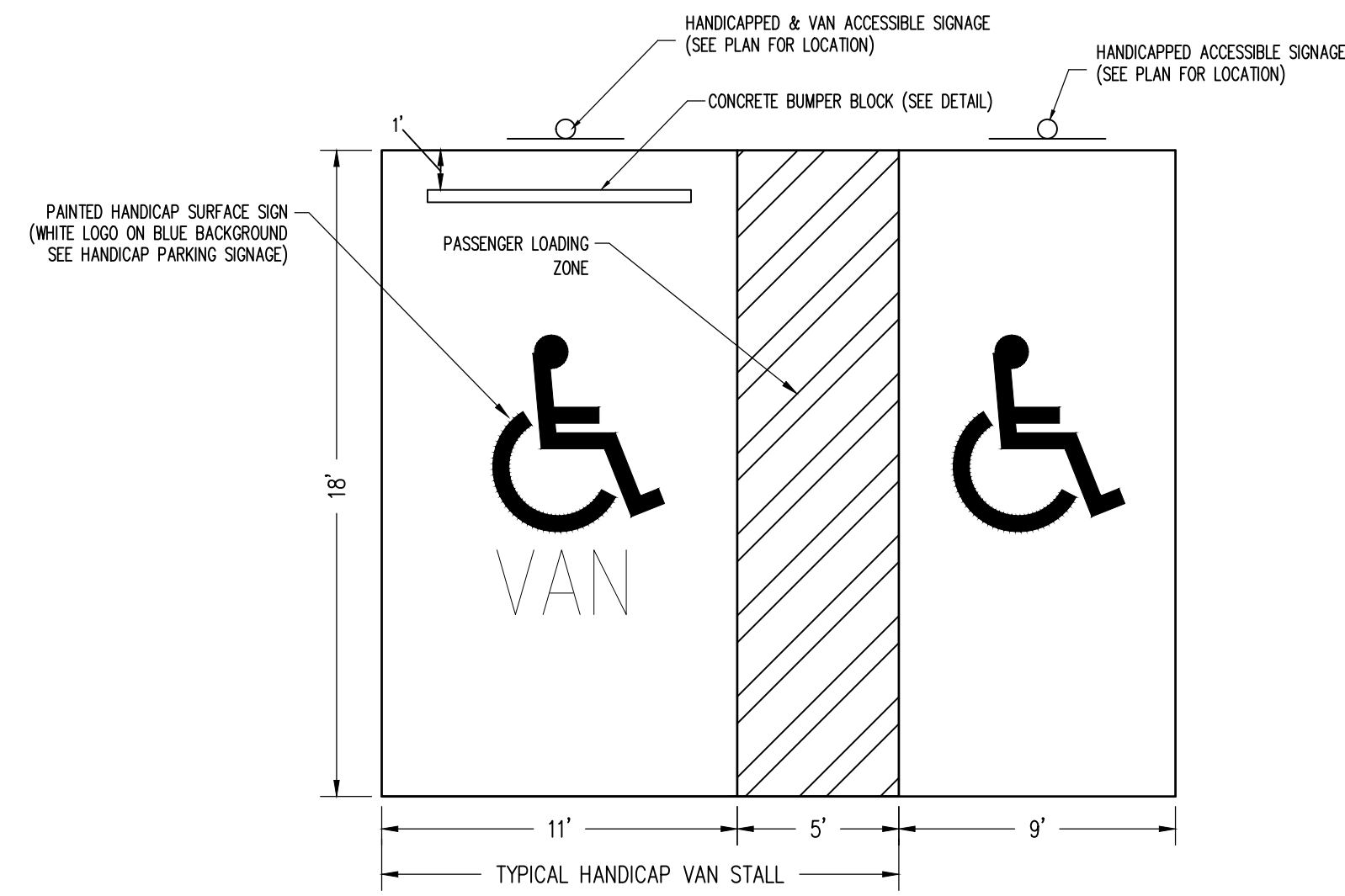
NITTANY CASINO

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 PENNSYLVANIA

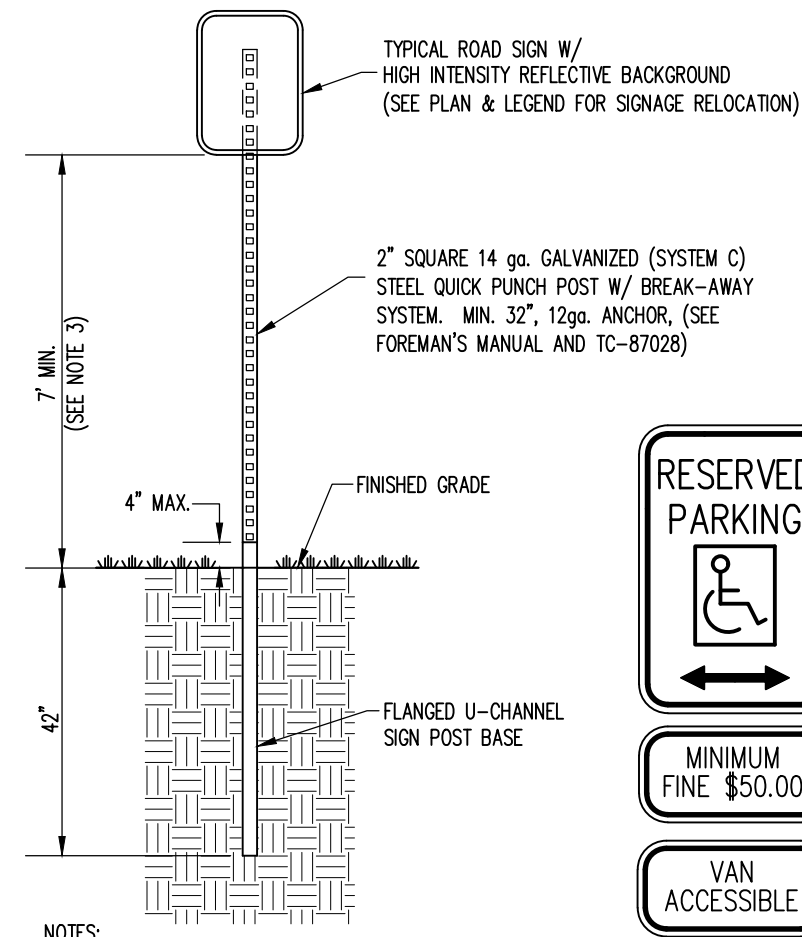
PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

RAIN GARDEN CONSTRUCTION DETAILS

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	AS SHOWN
SHEET NO.	18



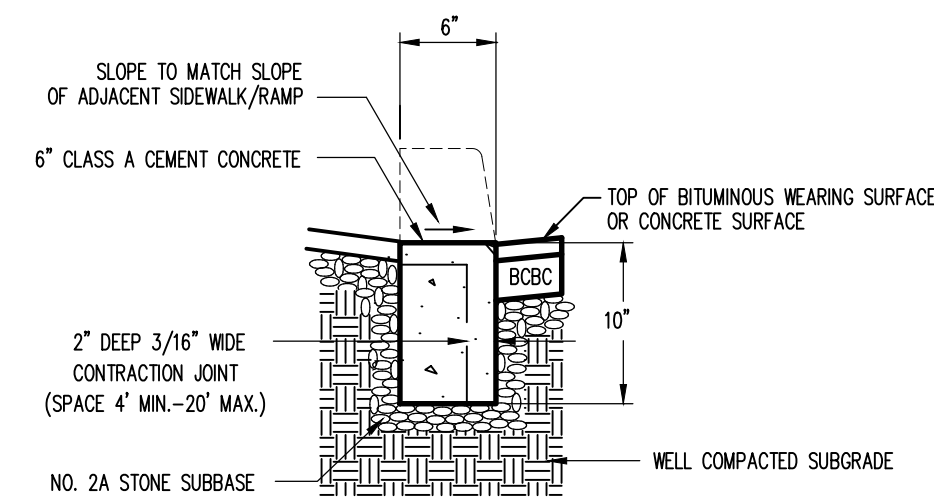
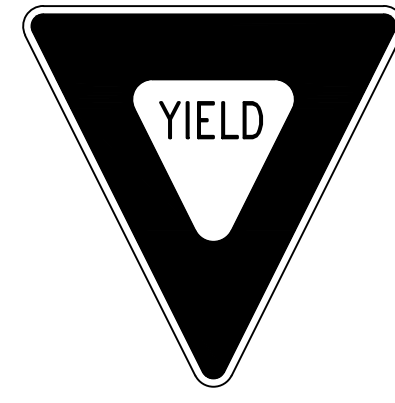
HANDICAP PARKING LAYOUT
NOT TO SCALE



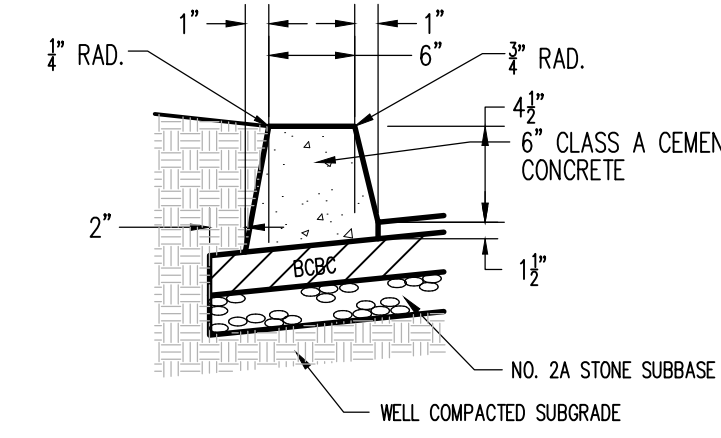
SIGN POST DETAIL
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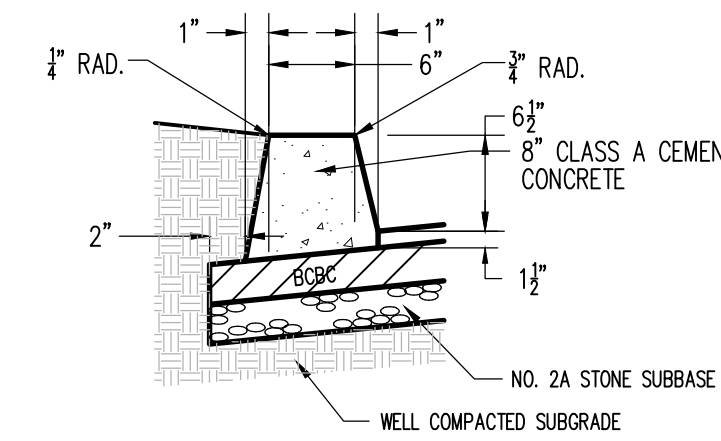
SIGN DETAILS
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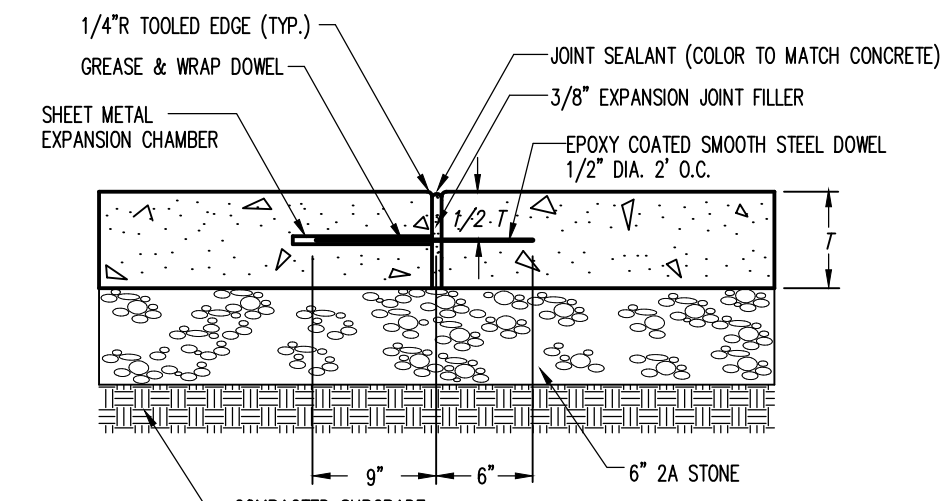
DEPRESSED CONCRETE CURB
NOT TO SCALE



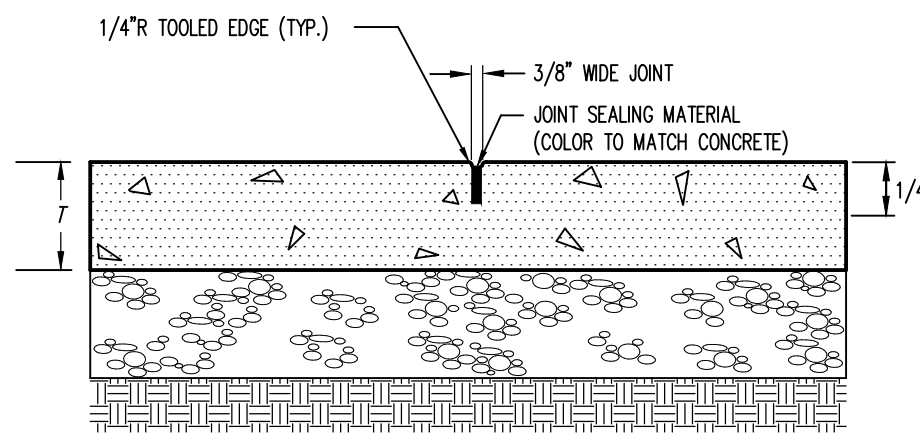
ON-SITE 6" EXTRUDED STRAIGHT FACE CONCRETE CURB
NOT TO SCALE



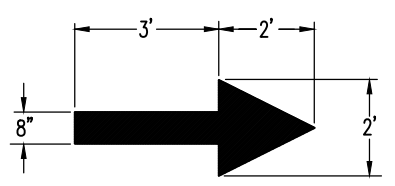
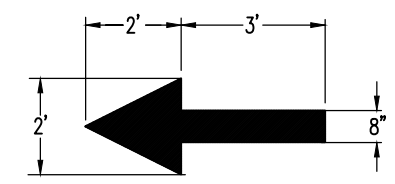
ON-SITE 8" EXTRUDED STRAIGHT FACE CONCRETE CURB
NOT TO SCALE



CONCRETE EXPANSION JOINT DETAIL
NOT TO SCALE



CONCRETE CONTROL JOINT
NOT TO SCALE



TRAFFIC DIRECTION ARROWS
NOT TO SCALE

Park-It Galvanized PLUS Bike Racks/ 11-Bike Rack/ Surface Mount
SKU: 7YT7061

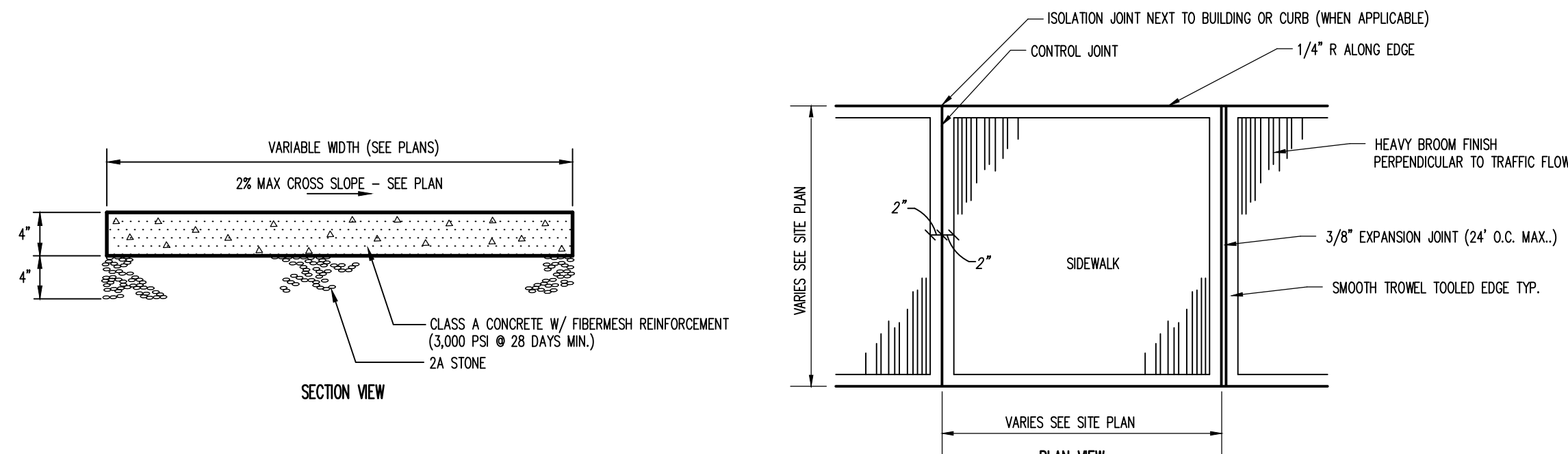


1 7/8" Tube x 115.5"

BIKE RACK DETAIL
NOT TO SCALE

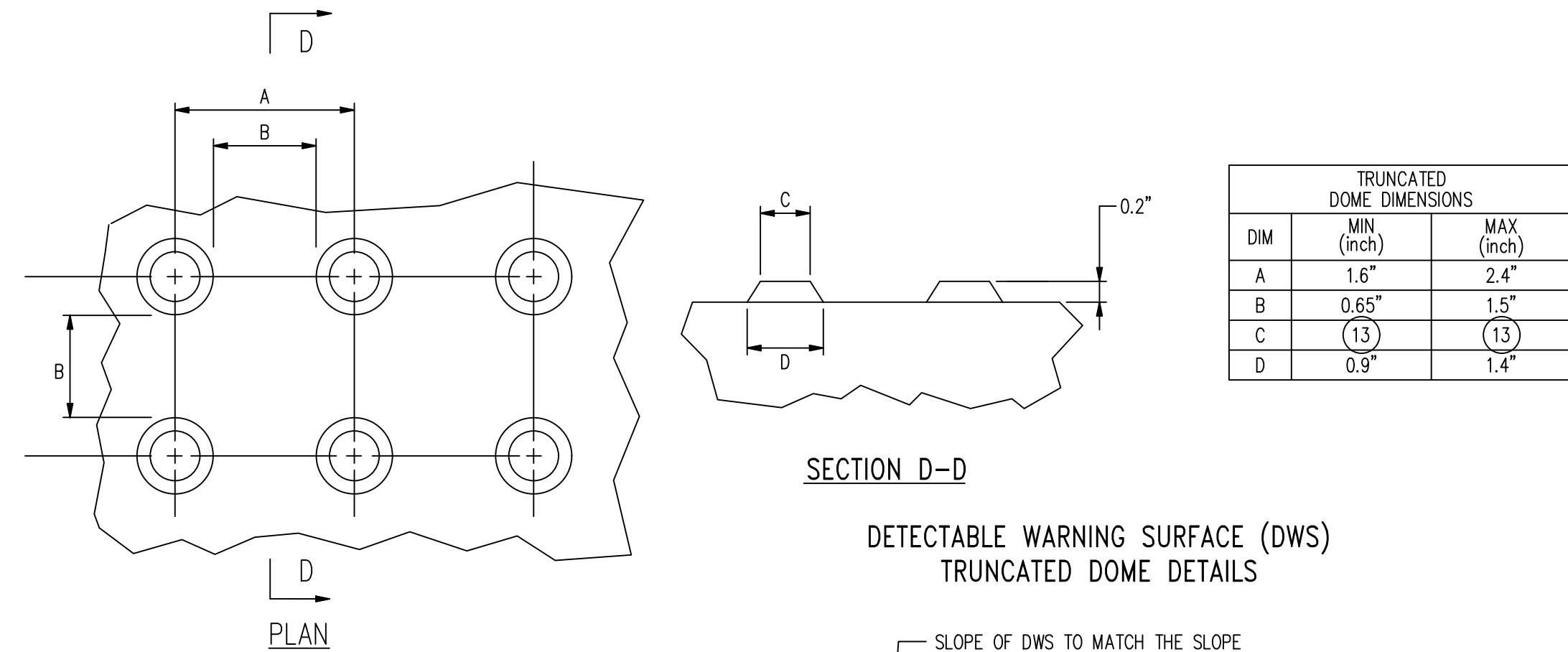
LETTERS

LETTERING DETAIL
NOT TO SCALE



CEMENT CONCRETE SIDEWALK
NOT TO SCALE

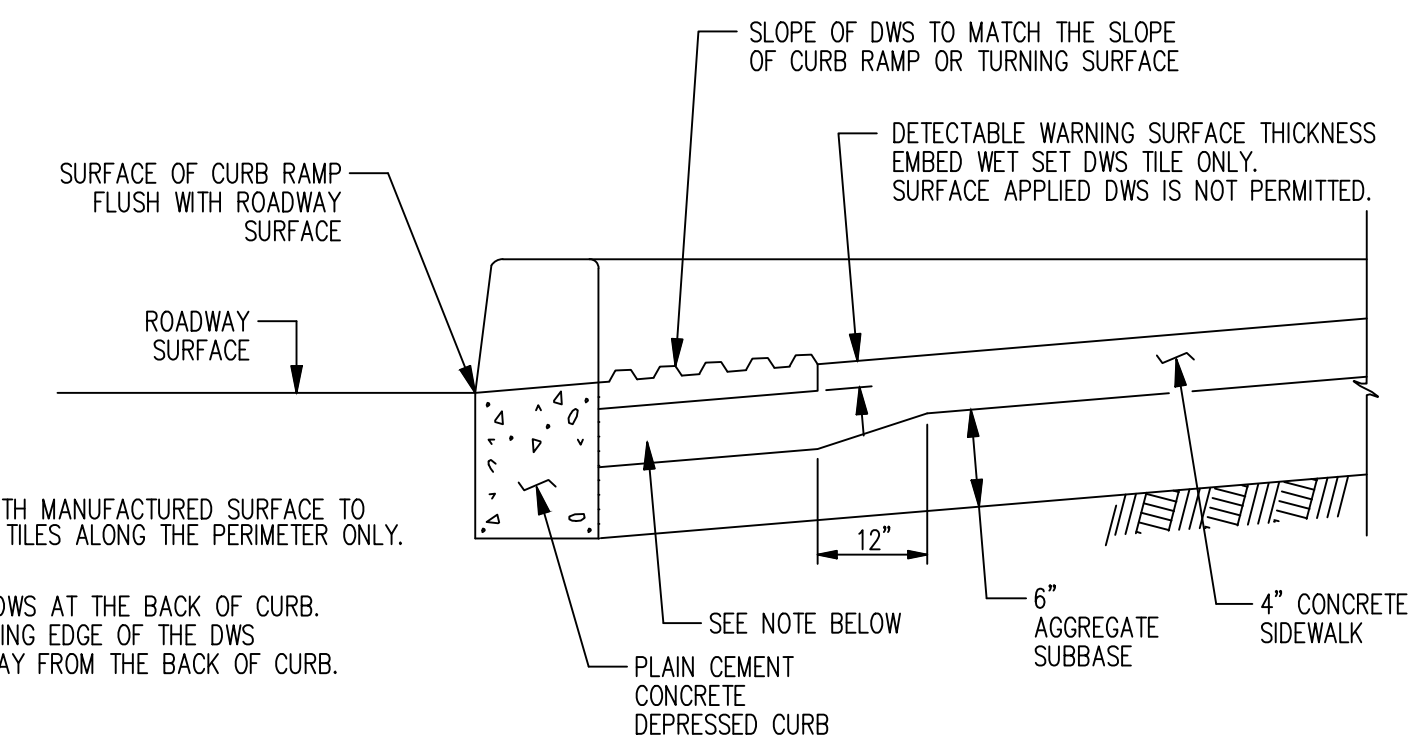
- NOTE:
1. CONTROL JOINTS 5' MAX. SPACING, FULL DEPTH EXPANSION JOINTS AT SOLID STRUCTURES, CURB AND BEGINNING AND END OF WORKING DAY.
2. USE SIDEWALK DESIGN SECTION FOR MUNICIPAL ONE FUELING STATION AREA PAD & GATE OPENER PAD.



DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAILS

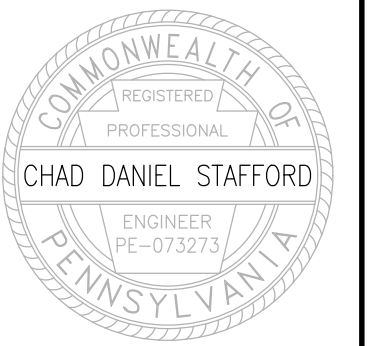
TRUNCATED DOME DIMENSIONS		
DIM	MIN (inch)	MAX (inch)
A	1.6"	2.4"
B	0.65"	1.5"
C	(13)	(13)
D	0.9"	1.4"

- NOTES:
13 THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.
14 PLACE ADJACENT DWS TILES WITH MANUFACTURED SURFACE TO MANUFACTURED SURFACE. CUT TILES ALONG THE PERIMETER ONLY.
24 LOCATE ONE CORNER OF THE DWS AT THE BACK OF CURB. NO OTHER POINT ON THE LEADING EDGE OF THE DWS MAY BE MORE THAN 5'-0" AWAY FROM THE BACK OF CURB.



DETECTABLE WARNING SURFACE EMBEDDING DETAIL
NOT TO SCALE

NOTE:
CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SIDEWALK UNDER DETECTABLE WARNING SURFACE.
OPTIONAL:
CONSTRUCT 2" MAX CONCRETE BORDER AROUND DWS TO PROVIDE PROPER INSTALLATION. SEE PEDESTRIAN PUSHBUTTON ACCESS AREAS DETAIL ON SHEET 14, FOR PLAN VIEW DETAILS.



Designer	MJA
Draftsman	MJA
Proj Manager	CDS
Surveyor	XXX
Perimeter Ok	
Book	XXX Pg XXX
2021/16 - 19 - CONSTRUCTION DETAILS	
Layout	CONSTRUCTION DETAILS

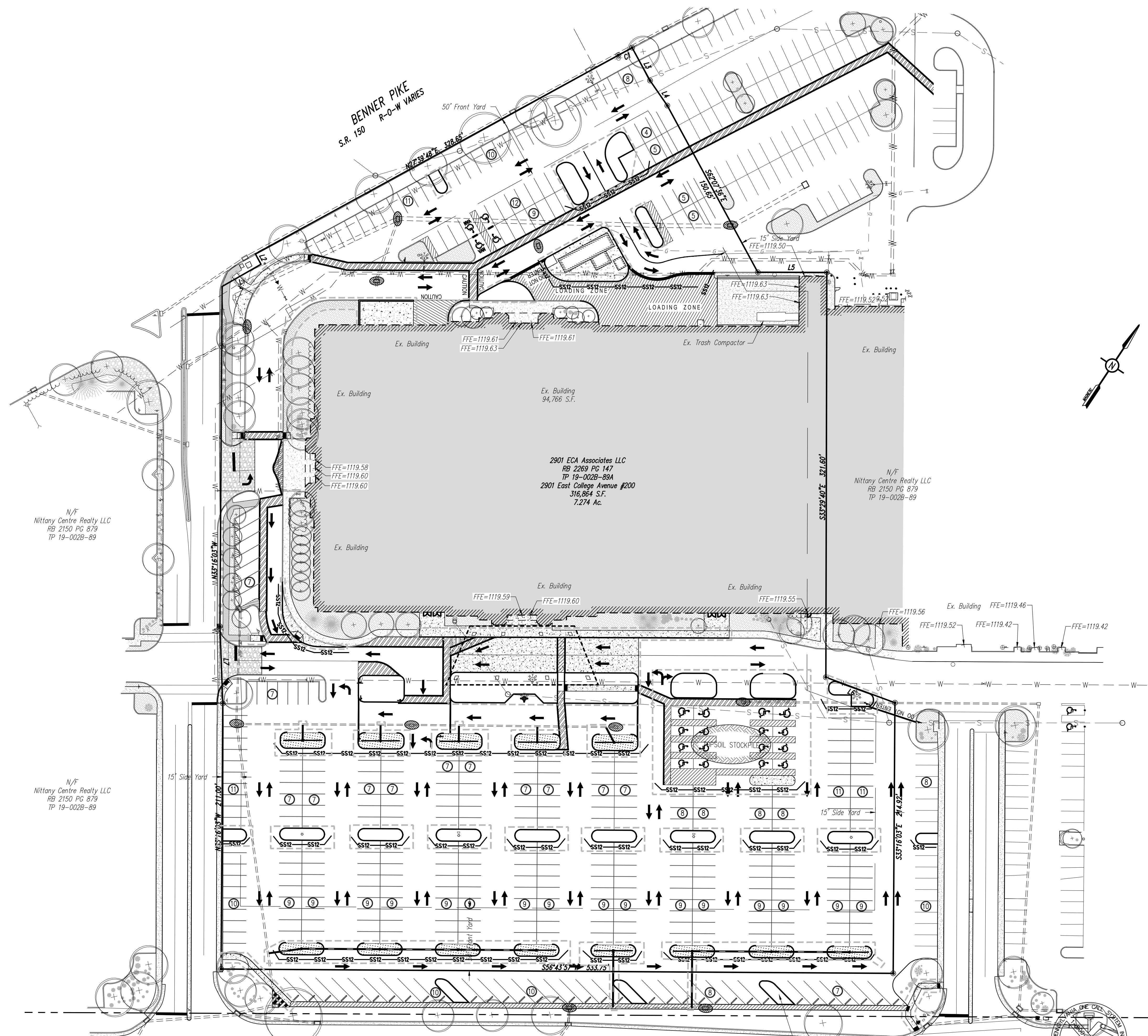
NITTANY CASINO

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

CONSTRUCTION DETAILS

PROJECT NO.	20141
DATE	JULY 12, 2021
SCALE	AS SHOWN
SHEET NO.	19



EXISTING FEATURES LEGEND

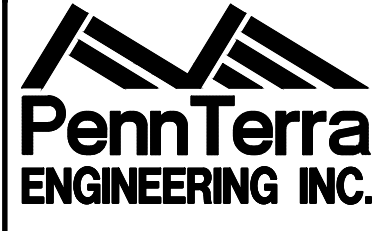
- Existing Building
- Existing Curbing & Edge of Pavement
- Existing Concrete Areas
- Existing Landscaped Areas
- Existing Retaining Wall
- Existing Fence / Type
- Existing Contours w/ Elevation (1's & 2's)
- Existing Contours w/ Elevation (5's & 10's)
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole
- Existing Fire Hydrant
- Existing Manhole
- Existing Utility Pole
- Existing Guy Wire
- Existing Storm Sewer Inlet Type-M
- Existing Storm Sewer Inlet Type-C
- Existing Utility Main Valve
- Existing Utility Lateral Valve
- Existing Utility Meter
- Existing Bollard
- Existing Clean-Out
- Existing Light Pole/Standard
- Existing Handicap Symbol
- Existing Monitoring Well
- Existing Sign
- Existing Tree Row
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Shrub

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED RETAINING WALL
- PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE SLOPE
- PROPOSED FIRE HYDRANT
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED TRAFFIC FLOW ARROWS (NOT PAINTED)

EROSION & SEDIMENTATION CONTROL LEGEND

- ISOLATED LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- 12" SILT SOCK
- TOPSOIL STOCKPILE



CENTRAL PENNSYLVANIA REGION OFFICE:
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
 PH: 814-231-8285
 Fax: 814-237-2308

LANCASTER REGION OFFICE:
 3904 B ABEL DRIVE
 COLUMBIA, PA 17512
 PH: 717-522-5031
 Fax: 717-522-5046

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Designer: MJA
 Draftsman: MJA
 Proj Manager: CDS
 Surveyor: XXXX
 Perimeter Ok: XXXX Pg. XXXX
 File: 20141 - ES1
 Layout: ES-1

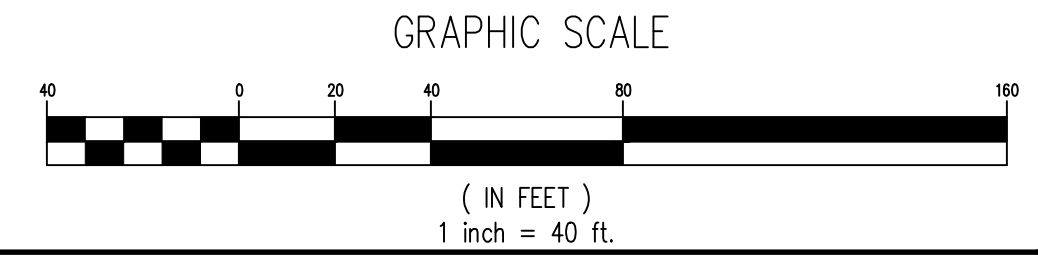
NITTANY CASINO

COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLANS

**EROSION AND
 SEDIMENTATION
 CONTROL PLAN**

PROJECT NO.
 20141
 DATE
 JULY 12, 2021
 SCALE SHEET NO.
 1" = 40' **ES-1**



BEFORE YOU DIG ANYWHERE IN
 PENNSYLVANIA CALL 1-800-242-1776
 NON-MEMBERS MUST BE CONTACTED DIRECTLY

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