



**COLLEGE TOWNSHIP COUNCIL
REGULAR MEETING AGENDA
Thursday, March 5, 2026 7:00 PM
Hybrid Meeting (In-Person or via Zoom)**

General Meeting Information

College Township offers both in-person and virtual meeting attendance for all public meetings. To attend in-person, meetings will be held at 1481 E. College Avenue, State College PA, 16801, 2nd floor meeting room. To attend virtually, please see the information below.

To Attend the LIVE Meeting Via Zoom on Computer or Smart Phone:

- [Click HERE to REGISTER for the meeting via Zoom](#). Once registered, you will receive a confirmation email containing information about joining the meeting. See the College Township website at www.collegetownship.org for detailed instructions on how to participate via zoom.

Written public comments, for specific agenda items, may be submitted until 12:00 noon the day of the meeting by emailing admin@collegetownship.org.

College Township is committed to making meetings accessible to everyone. If you require an accommodation or service to fully participate, please contact admin@collegetownship.org or 814-231-3021.

COUNCIL MEMBERS:

Susan Trainor, Chair

2026 COMMITTEE ASSIGNMENTS:

COG Executive Committee

COG Public Safety

Tracey Mariner, Vice Chair

COG Human Resources Committee

CT Local Traffic Advisory Committee (LTAC)

Centre Area Cable Consortium

Eric Bernier

COG Land Use & Community Infrastructure Committee (LUCI)

CC Metropolitan Planning Organization Coordinating Committee (CCMPO)

Rich Francke

COG Finance Committee

COG Parks & Recreation Governance Committee

COG Parks Capital

COG Facilities

Gretchen Brandt.....

COG Climate Action & Sustainability Committee (CAS)

Spring Creek Watershed Commission Delegate

CT Industrial Development Authority Liaison (CTIDA)

COLLEGE TOWNSHIP COUNCIL MEETING

CALL TO ORDER / PLEDGE OF ALLEGIANCE

PUBLIC OPEN

DISCUSSION:

For any item not on this agenda. Please limit comments to five minutes.

NEW

AGENDA ITEMS:

Majority vote of Council required to add business item(s) to the agenda.

COUNCIL CONSENT AGENDA

March 5, 2026

CA-1 Minutes, Approval of

- a. February 19, 2026 – College Township Council Public Hearing Minutes
- b. February 19, 2026 – College Township Council Regular Meeting Minutes

CA-2 Correspondence, Receipt/Approval of

- a. Letter from Penn Terra dated February 18, 2026, regarding time extension for the Crew 814 Phase I Final LDP to June 16, 2026
- b. Emails from John Ferguson regarding Single Use Plastics
- c. Letter from First Night State College dated February 23, 2026, regarding donation

CA-3 Action Item, Approval

- a. Resolution R-26-10 – Disposition of Devices
- b. Waiver request for Classic Cones



Photo by Frank Scott, IV

**COLLEGE TOWNSHIP
PARKS AND RECREATION COMMITTEE**



2025 ANNUAL REPORT

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I. PARKS AND RECREATION COMMITTEE

Janet Sulzer, *Chair*

Park Assignments: Fieldstone, Harris Acres, Panorama
Member Since: March 2018
Term Ends: December 2025

Janet was raised in Central Pennsylvania and has a BS from Mansfield State University and an AS from Penn State. She and her husband moved to the Centre Region in 1970 and then to College Township in 1979. Since 1983, Janet has held numerous positions in local government in College Township and the Centre Region, including eight years as a College Township Council Member. She was Chairperson of the Centre Region Council of Government's Public Service Commission when regional trash collection was implemented.

Judi Sittler, *Vice-Chair*

Park Assignments: Cairns Crossing, Gordon D. Kissinger Meadow, Mount Nittany Terrace, Nittany Orchard, Spring Creek Estates, Stoney Batter Natural Area
Member Since: January 2015
Term Ends: December 2027

Judi was born and raised in Berks County, Pennsylvania. She raised a family in State College, and got her undergraduate and master's degree in Special Education from Penn State. Judi moved to Los Angeles where she lived for thirty years, teaching special education at UCLA and Beverly Hills High School. During this time, she got a PhD in Psychology and set up a private practice as a licensed psychologist. When she retired in 2006, she moved to State College with her husband Stu Silver. She is happy to be "back home" and close to her son and daughter-in-law. Her home is along Spring Creek in the Lemont area. Having Spring Creek in her backyard, prompted Judi to join the Central PA Women Anglers in 2007 and the Spring Creek Chapter of Trout Unlimited in 2009. She served as the chapter's president for four years and then moved to the position of chair of the Spring Creek Watershed Association in March 2014. Judi attributes everything she knows about watershed conservation to her experiences with everyone associated with Trout Unlimited and the Spring Creek Watershed Association.

Kathleen Matason

Park Assignments: Millbrook Marsh, Centre Region Parks & Recreation

Member Since: January 2005

Term Ends: December 2026

Kathy has a BS in Management and a MA in American Studies, both from Penn State. She retired in 2018 from her position as Director of Operations of the Ben Franklin Technology Center. Kathy joined the College Township Parks and Recreation Committee in 2005 (chair from 2008-2010) and has represented College Township on the Centre Region Parks and Recreation Authority since 2005, serving as secretary (2007-2018) and chair (2018-present). She also represents College Township on the Millbrook Marsh Advisory Committee (2005-present). Kathy is a long-standing member of the Centre County Drug and Alcohol Planning Council, serving in several key leadership positions (2003-present). Completion of two major construction projects, Whitehall Road Regional Park and Millbrook Marsh Nature Center Spring Creek Education Building Phase II/Diane Kerly Welcome Pavilion, has been the highlight of 2025!

Earl Moore

Park Assignments: Shamrock, Slab Cabin, Thompson Woods Parklet, Thompson Woods Preserve

Member Since: March 2016

Term Ends: December 2027

Earl was born and raised in Central Pennsylvania. He lived in the Pine Creek Valley for twenty years and the last seven years in College Township. He has a degree in Information Technology from Penn State. Earl has a wonderful wife, Kimberly, three sons, a grandson, and a granddaughter. He has served on the College Township Parks and Recreation Committee since March 2016 and on the LTAC since January 2016. His hobbies include gardening, woodworking, and home improvements.

David Schulte

Park Assignments: Dalevue, Fogleman Overlook, Oak Grove, Penn Hills

Member Since: January 1989

Term Ends: December 2028

Dave has a BS in Psychology from the *State University of New York* (1974) and is a Certified Systems Engineer. After 45 years as a professional systems designer, implementer and administrator, he retired in 2019 and now enjoys bringing his grandchildren to the park, bicycling, and flying his plane. He has been a Little League coach, CRPR soccer coach, and BSA adult leader (Cubmaster, RoundTable Commissioner, Scoutmaster, WB). Dave has been a member of the committee since 1989, serving as secretary (1990-1996, 2013), vice-chairman (2003, 2023), and chairman (1997-2002, 2004-2007, 2024).

Jude Simpson

Park Assignments: Bike Paths, Fogleman Fields, Slab Cabin Overlook, Spring Creek Park

Member Since: January 2007

Term Ends: December 2026

Jude is a Penn State graduate who studied Fisheries Science and Biology at the University of Alaska in Juneau. Since moving to State College in 2000, Jude has served on the boards of the Centre Region Bicycle Coalition and as a volunteer for Pennsylvania Rails to Trails. She believes all residents of the Centre Region should have the opportunity to enjoy convenient, non-motorized access to trails and other recreational facilities. Her vision is for the development of a safe, destination bound continuous alternative transportation system that would link parks, trails, and bike paths in order to promote physical activity and healthy living.

Susan Smith

Park Assignments: Glenn Park, Limerock Terrace, Mountainside

Member Since: January 2011

Term Ends: December 2025

Susan F. Smith (Sue) was a member of the Parks and Recreation Committee in the late 1970's and early 1980's, at the time Spring Creek Park was created. She is Chair of the Lemont Village Association (LVA) and is very involved in the activities sponsored. Sue is also a member of the Centre County Housing Authority, and other non-profit organizations. She is a graduate of Grinnell College in Grinnell, Iowa, and has worked as an elementary school teacher, legislative aide, and fundraising consultant to non-profit organizations.



(Pictured from left to right) Kathy Matason, Judi Sittler, Sue Smith, Jude Simpson, Amy Kerner, Dave Schulte in Fieldstone Park

II. BACKGROUND

DEMOGRAPHICS

Founded in 1875, College Township is a composite of zoned areas that allow for a mixture of agricultural, commercial, industrial, residential, residential-office, and university, which is blended into an area of approximately eighteen and one-half square miles. According to the 2018-2022 American Community Survey 5-Year Estimates, College Township population was 10,916. This was a 1.25% increase from the 2020 US Census. The median age of residents of College Township is 40.4 years, which is 14.6 years greater than the median age of Centre Region.

Age Range:	<18	18-24	25-34	35-59	60+
% of Population:	16.03%	16.44%	10.81%	29.27%	27.45%

PUBLIC RECREATION OPPORTUNITIES

College Township is proud to be part of a larger regional network of parks and recreation spaces that serve residents throughout the Centre Region. Each municipality contributes by acquiring and developing parkland and investing in improvements that benefit the whole community. The care and maintenance of the parks is a shared responsibility with Centre Region Parks and Recreation (CRPR) overseeing designated regional parks, while College Township maintains the neighborhood parks within its boundaries ensuring they remain welcoming, safe, and enjoyable for everyone.

RECREATION PLANNING

College Township has a long history of thoughtful recreation and open space planning. In the 1970’s, the Township adopted the Centre Region Comprehensive Plan, which included goals for parks and open space and referenced the 1973 Centre Region Parks and Open Space Plan. Building on that foundation, the College Township Parks and Recreation Committee developed a five-year improvement plan in 1985 to enhance existing parks within the Township.

A year later, in 1986, the landscape architecture firm Griswold, Winters, Swain and Mullin (GWSM) completed a comprehensive recreation, park, and open space study for the entire Centre Region. This study provided an updated inventory of recreational facilities and offered recommendations for improving regional amenities. The Centre Region Comprehensive Recreation, Parks, and Open Space Plan has continued to evolve over time, with the most recent update completed in January 2020. This plan addresses everything from facilities and programming to financing, maintenance, and future recommendations.

Most recently, in 2023, the College Township Parks and Recreation Committee proposed updates to the Township’s Official Map, a planning tool used to identify existing and proposed public lands and facilities. The update process included valuable input from public meetings, the College Township Planning Commission, and Centre Region Planning staff. In addition to mapping future roads and bicycle paths, the Committee identified potential locations for two types of parks; active parks, which support organized recreation and play, and passive parks, which protect natural areas such as floodplains and other environmentally sensitive spaces.

ENABLING LEGISLATION

In 1968, the Pennsylvania General Assembly enacted the Municipalities Planning Code (MPC), granting municipalities the authority to adopt an Official Map. The purpose of this legislation is to promote public health, safety, and general welfare; ensure adequate public streets and facilities; improve traffic circulation; provide for community recreation and open space needs; protect and enhance water resources; and facilitate the subdivision and use of land and watercourses.

College Township exercised this authority by adopting its own Official Map through Ordinance No. 87 on November 14, 1985, thereby establishing Chapter 133 of the College Township Code. The MPC was later amended in 1988 to clarify provisions and expressly authorize municipalities to identify the approximate locations of both existing and proposed public streets, watercourses, and public grounds on their Official Maps.

Also in 1988, further revisions to the MPC (Section 503(11)) empowered municipalities to require the dedication of parkland or the collection of “fees-in-lieu” as part of the subdivision and land development process, consistent with an adopted recreation plan. This legislative action ensured that local governments could secure the resources necessary for the acquisition and development of parkland to serve current and future residents.



Newly resurfaced basketball court in Spring Creek Park

III. PARK FACILITIES**INVENTORY OF FACILITIES**

Below is a list of park facilities and activities available within College Township.

(* denotes park facilities not overseen by College Township Parks & Recreation Committee)

Facility	Size	Playground / Play Area	Picnic Area	Ball Field(s)	Restroom/ Pavilion	Other Activities	Walking/ Cycling	Maintained By
Bicycle Paths	~6.5 ln mi						Paved	Township
Cairns Crossing	1.37 acres						Path	Township
Dalevue	14.78 acres	X	X	X	P	Basketball Tennis Sledding	Bikeway Access	CRPR
Fieldstone	1.83 acres	X	X					Township
*Fogleman Fields	15.30 acres	X			P R	Soccer	Paved	SCASD/ CRPR
Fogleman Overlook	2.68 acres					Bench	Paved	Township
Glenn Park	1.71 acres	X	X					Township
GDK Meadow	11.60 acres		X					Township
Harris Acres	1.16 acres		X	Back stop				Township
*Lemont Village Green	0.95 acres	X			P	Concerts, Markets, Festivals		Lemont Village Association
Limerock Terrace	0.55 acres	X	X			Basketball ½ Court		Township
*Millbrook Marsh	67.71 acres				P R	Education Center	Path/ Boardwalk	CRPR
Mountain-side	7.17 acres	X	X				Nature Trail	Township
Mt. Nittany Terrace	2.93 acres	X	X		P	Basketball		Township
*Nittany Mountain	765.03 acres					Overlooks	Hiking Nature Trail	Conserv- ancy & Lions Paw
Nittany Orchard	5.20 acres	X	X	X		Basketball Tennis Gazebo		CRPR
Oak Grove	2.92 acres	X	X			Basketball ½ Court	Paved	Township
*Oak Hall Regional	68.27 acres			X	R		Trail	CRPR
Panorama Parklet	0.65 acres		X					Township
Penn Hills	4.89 acres	X	X	X	P	Sledding		Township
Shamrock	3.00 acres	X	X				Grass	Township
Slab Cabin	15.35 acres	X	X		P	Basketball ½ Court Sledding	Bikeway Access	CRPR

Facility	Size	Playground	Picnic Area	Ball Field(s)	Restroom/Pavilion	Other Activities	Walking/Cycling	Maintained By
Slab Cabin Overlook	5.11 acres						Paved	Township
Spring Creek Estates	10.24 acres						Trail	Township
Spring Creek Park	36.25 acres	X	X	X	P R	Basketball Soccer Volleyball Tennis	Paved Bikeway Access	CRPR
Stoney Batter	32.90 acres						Hiking	Township
Thompson Woods Parklet	1.82 acres					Gazebo		Township
*Thompson Woods Preserve	36.60 acres						Hiking	CRPR

ACQUISITION

College Township recognizes the importance of ensuring that every neighborhood has convenient access to park and recreation opportunities. Ideally, each neighborhood should have a park within walking distance. Whenever possible, the Township seeks to acquire land adjacent to existing parks to expand recreational spaces and strengthen community connections.

Land and/or funding for these acquisitions may be obtained through the following sources:

- a.) Dedication of land as part of subdivision approval
- b.) “Fee-in-Lieu” contributions from developers
- c.) Government grant programs
- d.) Township tax funds
- e.) Private donations
- f.) Easements

Parcels identified for acquisition should meet the following general criteria:

- a.) Size:
 Neighborhood Parks are generally less than ten acres and serve residents within approximately a one-half (½) mile radius.
 Regional Parks are typically twenty (20) acres or larger and serve a broader population.
- b.) Access:
 Neighborhood Parks should abut a public street and have a minimum frontage of fifty (50) feet OR include a clearly defined easement acceptable to the Township.
 Regional Parks should provide vehicular access from the public street.
- c.) Shape:
 Parcels should be configured to accommodate a mix of recreational and open space activities appropriate to the surrounding neighborhood. Site may include both natural and active recreation areas.
- d.) Surface:
 Soils should be suitable for the intended park use. Portions of parkland may be located within detention basins or floodplains, provided that the majority of the area has appropriate topography for recreational purposes.
- e.) Service Area:

Neighborhood Parks should be accessible by walking and may include limited parking, as they serve residents within approximately a one-half (½) mile radius.

Regional Parks in general serve a larger area, often with a three (3) mile or greater radius and should include adequate parking and facilities accessible by walking, bicycling, and driving.

DEVELOPMENT

The development of parkland within College Township includes both the improvement of existing underdeveloped parks and the planning and construction of new facilities on recently acquired sites. Because the cost of park development can be significant, projects are typically implemented through a phased approach. Priorities are established and updated annually within the Parks and Recreation Committee's Five-Year Plan, based on available funding, community needs, and long-term goals for the Township's park system.

MAINTENANCE

Park maintenance within College Township is a shared effort designed to ensure that all recreation areas remain safe, attractive, and functional for public use. Centre Region Parks and Recreation (CRPR) provides general maintenance services, such as grass mowing, equipment painting and repair, and field grading and lining at designated regional parks. The Township Public Works Crew performs these same services for neighborhood parks within its jurisdiction.

In addition, College Township is responsible for major maintenance and repair projects, including site preparation for new equipment installation, replacement of outdated equipment, resurfacing of hard courts, and repair of parking areas, among other tasks. This collaborative approach helps maintain high-quality park and recreation facilities that serve residents across the community.



Newly resurfaced tennis court in Spring Creek Park

IV. OBJECTIVES

The Parks and Recreation Committee's primary objective is to encourage and support College Township in providing high-quality parks and recreational opportunities for residents and visitors alike. To achieve this goal, the Township will pursue the following objectives:

CONTINUE TO ACQUIRE PARK AND RECREATIONAL LAND

College Township will continue to acquire parkland and open space as subdivision and land development occur within the Township, and when other appropriate parcels become available. Strategic acquisition ensures that park and recreation areas grow in step with community development and future needs.

DEVELOP NEW PARKS AS ACQUIRED

The development of newly acquired parkland will follow a three-step process to ensure timely and thoughtful planning:

- 1.) Identification: As soon as possible after obtaining title, install signage designating the property as public parkland.
- 2.) Planning: Prepare a detailed site development plan, including phased implementation if necessary.
- 3.) Implementation: Carry out the approved plan as funding becomes available and in accordance with the Township's capital improvement priorities.

IMPROVE EXISTING PARKS

College Township is committed to the continual improvement of its existing parks to enhance safety, accessibility, and overall community enjoyment. Improvements may include:

- a.) Repairing and maintaining existing facilities and equipment
- b.) Preparing and updating master plans for individual parks
- c.) Installing new playground, fitness, or recreation equipment as budgets allow
- d.) Preserving and planting native and noninvasive vegetation to support wildlife and reduce noise
- e.) Protecting streams, buffer zones, and other environmentally sensitive areas

PROVIDE ACCESS

The Township will promote safe and convenient access to recreation areas by improving pedestrian and bicycle connections between residential neighborhoods, parks, and nearby commercial and industrial places. These efforts support community quality of life within College Township.

V. RECREATIONAL PROGRAMS

- The Township manages the nature trail in Mountainside Park.
- The Mt. Nittany Conservancy is a partner in overseeing the Stoney Batter Natural Area.
- The Centre Soccer Association is a partner in the development of Fogleman Fields.
- State College Little League uses some ball fields in township parks.
- Centre Soccer provides programs at Fogleman Fields and other facilities within College Township.
- Centre Region Parks and Recreation also provides many recreation programs to residents and non-residents throughout the year.

VI. HIGHLIGHTS

Over the past year, the Parks and Recreation Committee remained actively engaged in reviewing plans, assessing community needs, and supporting the continued growth and improvement of College Township's parks. Key accomplishments and activities included:

- Reviewed an open space plan for a Planned Residential Development and recommended College Township Council and Planning Commission consider population density when setting ordinance requirements for similar developments in the future.
- Recommended the incorporation of dedicated parkland received from the Aspen Heights development into the existing Slab Cabin Overlook Park to enhance future connectivity and recreational value.
- Reviewed and updated the committee's five-year plan to ensure that priorities reflect current community needs, resources, and opportunities.
- Conducted an annual park tour meeting, visiting Fieldstone Park and Slab Cabin Overlook.
- Visited the 100-acre Whitehall Road Regional Park, toured its innovative play area, and gathered ideas for future park enhancements.
- Fogleman Overlook joint service project with US Fish and Wildlife.

VII. PLANS AND CHALLENGES

Looking ahead, the Parks and Recreation Committee remains committed to maintaining and enhancing College Township's park system through thoughtful planning, collaboration, and long-term vision. The following goals and ongoing challenges will guide these efforts:

- Update the Five-Year Capital Improvement Plan annually during the first quarter to reflect current priorities, funding availability, and community needs.
- Monitor the implementation and completion of capital improvement projects and maintenance to ensure timely progress and responsible use of resources.
- Support the acquisition of future parkland and/or easements that enhance recreational access, connectivity, and opportunities for residents.
- Encourage neighborhood and community participation in planning, improvement, and renovation of park facilities to foster local pride and stewardship.
- Plan for future generations by securing sufficient land for the continued development of quality parks and recreational spaces.
- Encourage developers to highlight the value of incorporating parkland and public amenities into development plans, demonstrating that such features increase both community benefit and property appeal.

VIII. APPENDICES

PARKS AND RECREATION FIVE YEAR PLAN RECOMMENDATIONS

	Description	Grant/ Service Project	2026	2027	2028	2029	2030
Neighborhood Parks							
Bike Paths	Potential Resurfacing					\$7,000	
Bike Paths	Replace Pine Saplings from 2024 (40-1gal. \$40each)		\$1,600				
Bike Paths	Winter Maintenance						
Cairns Crossing	Streambank Planting				\$1,500		
Cairns Crossing	Boardwalk Repairs						
Cairns Crossing	Invasive Mitigation			\$1,000			
Fieldstone	Pavilion				\$15,000		
Fogleman Overlook	Parking Reconfiguration						
Fogleman Overlook	Pave Parking (pave access from Meadowsweet Dr.)		\$12,000				
Fogleman Overlook	Pave Parking Area			\$24,000			
Glenn Park							
GDK Meadow	Stormwater Management		\$5,000				
GDK Meadow	Pollinator Plot (spray invasives-if needed)		\$650	\$650	\$650	\$650	\$650
Harris Acres	Park Access (pave path)		\$10,000				
Harris Acres	Bike & Ped Safety (Atherton)						
Limerock Terrace							
Mountainside							
Mt. Nittany Terrace	Future Improvements associated w/ Manor Dev					\$10,000	
Mt. Nittany Terrace	Basketball Court (widen to 50' with 3pt arc)						
Oak Grove	Extend Path 375' to Elizabeth Road			\$6,500			
Oak Grove	Basketball Court (widen to 50' with 3pt arc)		\$10,000				
Panorama Parklet							
Penn Hills	Baseball Field Improvements						
Penn Hills	Play Equipment			\$40,000			
Penn Hills	Basketball Court				\$17,136		
Penn Hills	Pavilion Refurbish					\$2,500	
Shamrock	Relocate Slide from Slab Cabin Park			\$3,000			
Shamrock	Extend walking path around perimeter		\$1,000				

	Description	Grant/ Service Project	2026	2027	2028	2029	2030
Slab Cabin Overlook	Amenities & Future Amenities			\$5,000			
Spring Creek Estates							
Stoney Batter	Stormwater Management		\$15,000				
Thompson Woods Parklet	Future Improvements				\$10,000		
Thompson Woods Parklet	Tree Removal						
Neighborhood Park Totals			\$55,250	\$80,150	\$44,286	\$20,150	\$650
	Description	Grant/ Service Project	2026	2027	2028	2029	2030
Regional Parks							
Dalevue	Pavilion Refurbish				\$13,045		
Dalevue	Plantings (sound mitigation)	S	\$1,400				
Dalevue	Multi-Purpose Play Field (grading and hydroseeding)		\$9,300				
Fogleman Fields							
Millbrook Marsh							
Nittany Orchard	Gazebo (refurbish & landscape)		\$5,000				
Oak Hall							
Slab Cabin	Upper Pavilion (refurbish)		\$10,000				
Slab Cabin	Replace Play & Fitness Equipment		\$65,000				
Slab Cabin	Master Plan Development		\$60,000				
Spring Creek	Benches (repair/ replace/ relocate)			\$2,000			
Spring Creek	Landscaping	G			\$20,000		
Spring Creek	Walking Path to Puddintown Rd					\$13,000	
Spring Creek	Pavilion						
Thompson Woods Preserve	Trail						
Thompson Woods Preserve	Educational Kiosk						
Thompson Woods Preserve	Reforestation						
Regional Park Totals			\$150,700	\$2,000	\$33,045	\$13,000	\$0
TOTAL			\$205,950	\$82,150	\$77,331	\$33,150	\$650

PUBLIC WORKS REPORT

The following maintenance and projects were completed by the Public Works Crew in 2025:

Refurbished some wooden park signs; Mowing and weed removal/spraying in all parks as needed throughout the summer; Replaced mulch when needed.

Bike Path: Trimmed trees and shrubs encroaching on path; Plowed after snow events; Swept paths in spring

Cairns Crossing: Replaced rotten/broken boards on small boardwalk; Trimmed evergreen tree

Fieldstone: Installed ADA path to newly established play equipment

Oak Grove: Removed dead trees

Penn Hills: Maintenance on the pavilion; Washed and stained picnic tables

Slab Cabin: Replaced roof of pavilion in upper portion of the park

Slab Cabin Overlook: Installed bench, trash receptacle, and bike rack

Spring Creek Estates: Cleared fallen trees and debris from paths

Spring Creek Park: Installed backstop on newly resurfaced tennis court; Installed a new bench base; Refurbished picnic tables throughout the park

Thompson Woods Preserve: Installed bike ramp on pedestrian bridge (pictured below)





COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council

From: Donald M. Franson, P.E., P.L.S. Township Engineer

Thru: Adam Brumbaugh, Township Manager

Re: PSU Relocate Existing Bike Path Near Innovation Park Preliminary/Final Land Development Plan

Date: Friday, February 20, 2026

Penn State Design & Engineering Services, on behalf of the applicant, The Pennsylvania State University, is proposing to relocate an existing bike path connection from Innovation Park to land of the University south of Interstate 99. This project will remove the existing seven to eight foot wide path and construct a new twelve foot wide Trail Surface Aggregate (TSA) bike path in a new location to avoid the Project Discovery development zone.

On Tuesday, February 17, 2026, at their regularly scheduled meeting, the Planning Commission made a motion to recommend Council approve the plan. The motion passed unanimously.

I recommend Council move to approve the Pennsylvania State University Relocate Existing Bike Path Near Innovation Park Preliminary/Final Land Development Plan dated January 15, 2026, and last revised February 6, 2026, subject to the following conditions:

1. Within ninety (90) days from the date of approval by Council, all conditions must be satisfied, final signatures must be obtained and the plan must be recorded with the Centre County Recorder of Deeds Office. Failure to meet the ninety (90) day recordation time requirement will render the plan null and void.
2. Pay all outstanding review fees.
3. Address, to the satisfaction of the Township Engineer, any outstanding plan review comments.
4. Fully comply with College Township Code Section 180-12.
5. Provide proof of National Pollutant Discharge Elimination System (NPDES) approval.
6. All conditions must be accepted in writing within seven (7) days from the date of the conditional approval letter from the Township Engineer.



PennState
Physical Plant

DESIGN AND
ENGINEERING SERVICES

Project Narrative

ICA Bike Path Replacement Project

Building No. 9999-999

Project #0010144.00

College Township, Centre County, Pennsylvania

The Pennsylvania State University is proposing to relocate an existing bike path connection from Innovation Park to lands of the University south and west of Interstate 99. This project will remove the existing 7-8' wide bike path and construct a new 12' wide Trail Surface Aggregate (TSA) bike path in a new location to avoid the Project Discovery development zone. The construction is intended to start in spring 2026 and be completed for use by July 2026.

The project is within the Big Hollow watershed and will generate approximately 0.5 acres of new impervious surfaces. The new impervious surfaces will be treated by implementing PaDEP Sheet Flow Standards per PAG-01. By implementing these standards, the project satisfies the requirements of 25 Pa. Code § 102.8(g) as meeting State stormwater regulations for water quality, 2-year net change in volume and peak rate standards up to and including the 100 – year storm event.

CERTIFICATION OF OWNERSHIP:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CENTRE

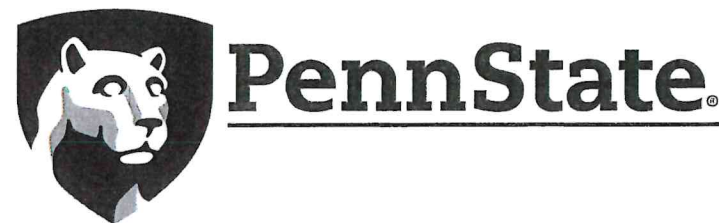
ON THIS _____ DAY OF _____, 20____,
PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY ARE THE OWNER
OF THE PROPERTY(IES) SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO
BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH,
ACCORDING TO THE LAW.

OWNER SIGNATURE _____ INTERIM ASSISTANT VICE
PRESIDENT OF OPERATIONS
TITLE _____

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

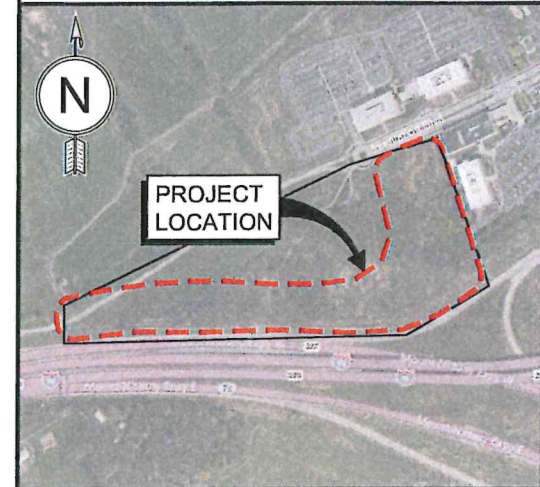
COMMISSION EXPIRES _____



DESIGN AND ENGINEERING SERVICES

113 Physical Plant Building
University Park, PA 16802
Phone: (814) 865-7605
www.opp.psu.edu

PROJECT LOCATION MAP SCALE: 1" = 1,000'



DRAWING INDEX:

- G001 COVER SHEET
CIVIL - SITE:
CS001 SITE GENERAL NOTES, SUBMITTALS & SPECIFICATIONS
CS002 KEY MAP
CS101 SITE EXISTING CONDITIONS PLAN
CS102 SITE BASELINE GEOMETRY PLAN
CS103 SITE PARTIAL PLAN & PROFILE - DEMO & NEW WORK
CS104 SITE PARTIAL PLAN & PROFILE - DEMO & NEW WORK
CS105 SITE PARTIAL PLAN & PROFILE - DEMO & NEW WORK
CS106 SITE PARTIAL PLAN & PROFILE - DEMO & NEW WORK
CS501 SITE DETAILS
CIVIL - EROSION & SEDIMENT POLLUTION CONTROL (ESPC):
CE001 ESPC NOTES
CE101 ESPC PLAN - EXISTING CONDITIONS
CE102 ESPC PLAN - OVERALL SITE
CE103 ESPC PARTIAL PLAN & PROFILE
CE104 ESPC PARTIAL PLAN & PROFILE
CE105 ESPC PARTIAL PLAN & PROFILE
CE106 ESPC PARTIAL PLAN & PROFILE
CE501 ESPC DETAILS
CE502 ESPC DETAILS
CIVIL - POST CONSTRUCTION STORMWATER MANGEMENT (PCSM):
CP001 PCSM NOTES
CP101 PCSM PLAN - PRE-CONSTRUCTION CONDITIONS
CP102 PCSM PLAN - POST-CONSTRUCTION CONDITIONS
CP103 PCSM PARTIAL PLAN & PROFILE
CP104 PCSM PARTIAL PLAN & PROFILE
CP105 PCSM PARTIAL PLAN & PROFILE
CP106 PCSM PARTIAL PLAN & PROFILE
CP501 PCSM DETAILS

DESIGN ENGINEER:

I, _____, DO HEREBY CERTIFY THAT THE
LAND DEVELOPMENT PLAN MEETS ALL DESIGN CRITERIA OF THE COLLEGE TOWNSHIP
ZONING AND LAND DEVELOPMENT / SUBDIVISION REGULATIONS.

DESIGN ENGINEER STORMWATER CERTIFICATION:

I, _____, DO HEREBY CERTIFY THAT THE
STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF
THE COLLEGE TOWNSHIP STORMWATER ORDINANCE.

STORMWATER FACILITIES ACKNOWLEDGEMENT:

I, _____, ACKNOWLEDGE THE STORMWATER
MANAGEMENT SYSTEM IS TO BE MAINTAINED IN ACCORDANCE WITH THE APPROVED
PROGRAM AND TO BE A PERMANENT FIXTURE WHICH CAN ONLY BE ALTERED OR
REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE COLLEGE TOWNSHIP COUNCIL.

MUNICIPAL STORMWATER CERTIFICATION:

I, _____, 20____, HAVE REVIEWED THE
STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS
AND CRITERIA OF THE COLLEGE TOWNSHIP STORMWATER ORDINANCE

PLANNING COMMISSION APPROVAL:

COLLEGE TOWNSHIP PLANNING COMMISSION APPROVED:
CHAIR SIGNATURE DATE
SECRETARY SIGNATURE DATE

TOWNSHIP COUNCIL APPROVAL:

COLLEGE TOWNSHIP COUNCIL APPROVED:
CHAIR SIGNATURE DATE
SECRETARY SIGNATURE DATE

RECORDING CERTIFICATE:

PA ONE CALL INFORMATION:
PENNSYLVANIA ACT 287 (1974), AS AMENDED, REQUIRES
NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY
PERSON PREPARING TO DISTURB THE EARTH'S SURFACE
ANYWHERE IN THE COMMONWEALTH.
CALL BEFORE YOU DIG !!!
Dial 811
SERIAL NUMBER 20253500207 (12/16/2025)
BELOW IS A LIST OF PUBLIC UTILITIES THAT RESPONDED
VIA THE FINAL DESIGN ONE-CALL INDICATING THAT THEY
OWN FACILITIES NEAR OR WITHIN THE PROJECT AREA:
COLUMBIA GAS OF PENNSYLVANIA
COMCAST CABLE COMMUNICATIONS
FIRSTLIGHT FIBER
LUMEN TECHNOLOGIES
PENN STATE UNIVERSITY
UNIVERSITY AREA JOINT AUTHORITY
VERIZON PENNSYLVANIA
WEST PENN POWER COMPANY
WINDSTREAM COMMUNICATIONS

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN
for
THE PENNSYLVANIA STATE UNIVERSITY
RELOCATE EXISTING BIKE PATH
NEAR INNOVATION PARK
COLLEGE TOWNSHIP, CENTRE COUNTY, PA
JANUARY 15, 2026

RECEIVED
FEB 09 2026
College Township
ENGINEERING DEPARTMENT

PLAN NOTES

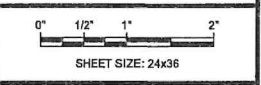
- 1. PROJECT NARRATIVE STATEMENT: THE PENNSYLVANIA STATE UNIVERSITY IS PROPOSING TO RELOCATE AN EXISTING BIKE PATH CONNECTING INNOVATION PARK TO LANDS OF THE UNIVERSITY SOUTH AND WEST OF INTERSTATE 99. THIS PROJECT WILL REMOVE THE EXISTING 7'-8" WIDE BIKE PATH AND CONSTRUCT A NEW 12' WIDE TRAIL SURFACE AGGREGATE (TSA) BIKE PATH IN A NEW LOCATION TO AVOID THE PROJECT DISCOVERY DEVELOPMENT ZONE. THE CONSTRUCTION IS INTENDED TO START IN SPRING, 2026, AND BE COMPLETED FOR USE BY JULY, 2026. THE PROJECT IS WITHIN THE BIG HOLLOW WATERSHED AND WILL GENERATE APPROXIMATELY 0.5 ACRES OF NEW IMPERVIOUS SURFACES. THE NEW IMPERVIOUS SURFACES WILL BE TREATED BY IMPLEMENTING PADEP SHEET FLOW STANDARDS PER PAG-01. BY IMPLEMENTING THESE STANDARDS, THE PROJECT SATISFIES THE REQUIREMENTS OF 25 PA CODE §102.8(g) AS MEETING STATE STORMWATER REGULATIONS FOR WATER QUALITY, 2-YEAR NET CHANGE IN VOLUME AND PEAK RATE STANDARDS UP TO AND INCLUDING THE 100-YEAR STORM EVENT.
2. NAME OF PROPOSED DEVELOPMENT: RELOCATED BIKE PATH
3. DATE OF APPLICATION FOR ZONING PERMIT: JANUARY 20, 2026
4. OWNER OF RECORD: THE PENNSYLVANIA STATE UNIVERSITY 148E PHYSICAL PLANT BUILDING UNIVERSITY PARK, PA 16802
SOURCE OF TITLE: DB 2087, PG 0819
5. UPI NUMBER: 19-003-100-0000-
6. TOTAL TRACT AC: 1,607.06 ACRES
7. ZONING DISTRICT: UPD SUBDISTRICT 14 (UPD-14) AND PLANNED RESEARCH & BUSINESS PARK (PR&BP)
8. REQUIRED SETBACKS: N/A
9. MAXIMUM HEIGHT: N/A
10. EXISTING USE: BIKE PATH / OPEN SPACE
PROPOSED USE: BIKE PATH / OPEN SPACE
11. PARKING SPACES: N/A
12. NO FLOODPLAIN OR WETLANDS EXIST ON OR NEAR THE PROJECT SITE.
13. THIS PLAN WAS PREPARED IN ACCORDANCE WITH UNIVERSITY PLANNED DISTRICT REQUIREMENTS. PRELIMINARY APPROVAL SHALL NOT AUTHORIZE CONSTRUCTION OR ISSUANCE OF ANY BUILDING OR ZONING PERMIT. NO CONSTRUCTION SHALL BEGIN PRIOR TO OBTAINING A ZONING PERMIT.
14. EROSION AND SEDIMENT POLLUTION CONTROL (ESPC) APPROVAL FROM THE CENTRE COUNTY CONSERVATION DISTRICT IS REQUIRED PRIOR TO EARTH DISTURBANCE. ALL OF THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ESPC PLAN APPROVED FOR THIS PROJECT.
15. EXISTING UNDERGROUND UTILITY INFORMATION, AS DEPICTED ON THIS PLAN, HAS BEEN APPROXIMATELY LOCATED FROM FIELD SURVEY(S), PA ONE-CALL (811) UNDERGROUND UTILITY MARKOUT, AVAILABLE UTILITY COMPANY RECORDS AND PSU UTILITY MAPPING. THE UTILITY DATA IS A COMPILATION OF SURVEY DATA AND DATA SUPPLIED BY OTHERS. NO LOCATION BY EXCAVATION WAS PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY, PER ACT 287, TO CONTACT THE APPROPRIATE UTILITIES FOR MORE ACCURATE IN-FIELD LOCATION INFORMATION (SEE ONE-CALL INFO).
16. THIS PROJECT PROPOSES NO UTILITY CONNECTIONS (SEWER, WATER, ETC.)
17. THE EXISTING FEATURES SHOWN ON THIS PLAN WERE PROVIDED BY A FIELD SURVEY BY HERBERT, ROWLAND & GRUBIC, INC. (HRG). HORIZONTAL CONTROL: NORTH AMERICAN DATUM 1983 (NAD83) VERTICAL CONTROL: NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD29-PSU)
18. CONSTRUCTION IS ANTICIPATED TO START IN SPRING, 2026, AND LAST APPROXIMATELY 3 MONTHS.

Table with 3 columns: DISTRICT, IMPERVIOUS AREA EXISTING, IMPERVIOUS AREA PROPOSED, NET IMPERVIOUS AREA CHANGE. Values include UPD-14, PR&BP, 4001 SF, 8,690 SF, 7,583 SF, 26,631 SF, +3,582 SF, +16,941 SF.

Table with 3 columns: ALLOWABLE F.A.R., EXISTING F.A.R., CHANGE IN F.A.R. THIS PROJECT, TOTAL F.A.R., DESIGNATED USE, ALLOWABLE DESIGNATED USE, EXISTING DESIGNATED USE, PROPOSED DESIGNATED USE, DESIGNATED USE, MAXIMUM ALLOWABLE IMPERVIOUS SURFACE, MINIMUM ALLOWABLE IMPERVIOUS SURFACE, EXISTING IMPERVIOUS SURFACE, PROPOSED CHANGE IN IMPERVIOUS SURFACE, TOTAL IMPERVIOUS SURFACE, OPEN SPACE, MINIMUM ALLOWABLE OPEN SPACE, EXISTING OPEN SPACE, PROPOSED CHANGE IN OPEN SPACE, TOTAL OPEN SPACE. Values include 1124.8 AC, 945.0 AC, 48,995,288 SF, 41,162,980 SF, 0.025, 1,029,075, 0.001, 40,452, 0.000, 0, 0.001, 40,452, F.A.R., GROSS FLOOR AREA, 0.020, 823,260, 0.000, 0, 0.000, 0, 0.020, 823,260, % OF SUBDISTRICT, AREA, 10%, 4,116,298, 3%, 1,231,819, 0%, 3,582, 3%, 1,235,401, % OF SUBDISTRICT, AREA, 80%, 37,046,682, 87%, 39,031,161, 0%, -3,582, 87%, 39,927,578.

Table with 2 columns: DATE, DESCRIPTION. Includes 2025/08/29 COLLEGE TWP SKETCH PLAN, 2025/10/30 PSU TEAM REVIEW - DD (60%), 2025/11/25 PRELIMINARY PRICING SET, 2025/12/19 PSU TEAM REVIEW - CD (90%), 2025/12/22 ISSUED FOR PAG-01 REVIEW, 2026/01/15 ISSUED FOR CT LD REVIEW.

Table with 3 columns: SYM, DATE, DESCRIPTION. Includes 2026/02/04 RESPONSE TO CT COMMENTS DATED 2026/02/02.



RELOCATE EXISTING BIKE PATH
COVER SHEET

PROJECT CONTACT
PROJECT MNGR: MONICA RUFRANO REED
PHONE: 814-863-5765
EMAIL: m224@psu.edu
DSGN. PRO: RICH MANNING
PHONE: 814-777-0164
EMAIL: rmm5951@psu.edu

INNOVATION PARK
BUILDING NO. 9999-999
PROJECT NO. 05-10144.00
DRAWN BY: JDM33
CHECKED BY: RAM5851
SHEET: G001



DESIGN AND ENGINEERING SERVICES

113 Physical Plant Building
108 Stewardship Drive
University Park, PA 16802
Phone: (814) 863-3300
www.opp.psu.edu

GENERAL NOTES:

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE PROJECT SITE PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING PRECAST CONCRETE STRUCTURES.
- ALL CONSTRUCTION AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF PennDOT PUB 408, THESE DRAWINGS, UNIVERSITY DESIGN AND CONSTRUCTION STANDARDS (<https://opp.psu.edu/files/opp/standards/UPPDCS/overviews>) AND THE CONTRACT SPECIFICATIONS. WHERE THESE DOCUMENTS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
- ALL WORK RELATING TO THIS PROJECT SHALL BE SUBJECT TO ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, AND REGULATIONS REGARDING OCCUPATIONAL SAFETY AND HEALTH, ENVIRONMENTAL PROTECTION, AND CONSTRUCTION STANDARDS. NOTHING CONTAINED IN THE SPECIFICATIONS OR THE DRAWINGS SHALL BE CONSTRUED TO CONFLICT WITH SUCH LAWS, CODES, ORDINANCES, OR REGULATIONS, AND, IN THE EVENT OF SUCH CONFLICT, ANY REQUIREMENT IMPOSED BY LAW, ORDINANCE, OR REGULATION SHALL BE DEEMED CONTROLLING.
- IN ABSENCE OF SPECIFIC INSTRUCTIONS IN THE CONTRACT DOCUMENTS, THE TRADE PRACTICES THAT ARE DEFINED IN ANY CODE OF STANDARD PRACTICE SHALL GOVERN.
- NO CONSTRUCTION MATERIALS, DEBRIS, CLEANING SOLUTIONS, WASTE WATER OR OTHER FORMS OF ILLICIT DISCHARGES SHALL ENTER THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER WASTE SHALL COMPLY WITH PENN STATE UNIVERSITY'S SAFETY POLICY SY40 - DISPOSAL OF POLLUTANTS IN UNIVERSITY SANITARY SYSTEM. SY40 CAN BE FOUND AT THE FOLLOWING LOCATION <https://policy.psu.edu/policies/sy40>
- MODIFY GRADES AND ADD FILL AS NEEDED TO PROMOTE POSITIVE DRAINAGE. PONDING WATER IS NOT ACCEPTABLE. GRADE AWAY FROM BUILDING(S) TO SMOOTHLY BLEND NEW GRADE INTO SURROUNDINGS.
- ADJUST THE ELEVATION OF ALL EXISTING MANHOLE COVERS, VALVE BOXES, INLET GRATES, JUNCTION BOXES AND OTHER SIMILAR UTILITY STRUCTURES TO BE 1/8-INCH BELOW NEW FINISHED GRADE. ALL ADJUSTMENTS TO EXISTING UTILITY STRUCTURES SHALL BE CONDUCTED IN COORDINATION WITH PENN STATE OFFICE OF PHYSICAL PLANT UTILITY SERVICES AND ENGINEERING SERVICES. ALL ADJUSTMENTS SHALL BE COMPLETED IN ACCORDANCE WITH PSU DESIGN AND CONSTRUCTION STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE REQUIRED TO PROVIDE A CONSTRUCTION FENCE ENCLOSING THE AREA OF THE WORK WITHIN THE CENTRAL LIMITS. CONSTRUCTION FENCING IS ALSO REQUIRED FOR TRAILERS AND STORED MATERIAL THAT MAY BE LOCATED OUTSIDE THE AREA OF WORK. FENCING MATERIAL SHOULD BE ADEQUATE TO PROTECT PERSONS AND PROPERTY.

THE CONTRACTOR SHALL ABIDE BY ALL PROJECT FENCING REQUIREMENTS LOCATED WITHIN APPENDIX B OF THE MOST CURRENT CONTRACTOR SAFETY REQUIREMENTS DOCUMENT, WHICH CAN BE FOUND AT: <https://opp.psu.edu/files/opp/standards/UPPDCS/psu-sy40-1999/Division%201-Procurement%20and%20Contractor%20Requirements>
- "BLUE SCREEN" FABRIC IS NOT REQUIRED ON THIS PROJECT.
- CONTRACTOR SHALL NOT DISTURB ANY GROUND BEYOND THE IMMEDIATE AREA REQUIRED FOR THE SITE DEMOLITION AND THE NEW CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXCAVATION, DISTURBANCE AND COMPACTION WITHIN THE IMMEDIATE CONSTRUCTION AREA TO PROTECT EXISTING ROOT SYSTEMS OF TREES.
- COORDINATE TREE PROTECTION AND SITE RESTORATION WITH NORMAN PARKS, LANDSCAPE RENO/TREES SUPERVISOR (814-5926580, nsp14@psu.edu). TREE PROTECTION SHALL BE FOUR (4) TIMES THE DIAMETER OF THE BASE OF THE TRUNK OF THE INDICATED TREE.
- ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- ALL EXISTING CURBING, SIDEWALK, ETC, SHALL BE PROTECTED DURING CONSTRUCTION (SPECIFICALLY, CONSTRUCTION VEHICLES ENTERING THE SITE).
- ALL EXISTING BITUMINOUS AND CONCRETE AREAS, INCLUDING CURBS AND GUTTERS, TO BE DISTURBED AS PART OF THE PROJECT (IF ANY) SHALL BE SAW-CUT AT THE PROJECT LIMITS (ENSURE COMPLIANCE WITH OSHA RESPIRABLE SILICA STANDARD). NEW WORK SHALL BE SMOOTHLY TRANSITIONED INTO EXISTING FEATURES.
- IN ANY AREAS WHERE SOIL, STONE, PORTLAND CEMENT CONCRETE OR BITUMINOUS PAVEMENT IS TO BE PLACED, THE AREA SHALL BE EVALUATED IMMEDIATELY FOLLOWING THE REMOVAL OF ANY SURFICIAL COVERINGS. THIS EVALUATION WILL BE PERFORMED AND DOCUMENTED BY A SOILS TECHNICIAN/ENGINEER RETAINED BY AND REPRESENTING THE UNIVERSITY. IF UNSUITABLE MATERIAL IS PRESENT, ATTEMPTS WILL BE MADE TO IMPROVE CONDITIONS BY DRYING/AERATION, IF APPLICABLE. IF THESE METHODS ARE UNSUCCESSFUL, THE SOILS TECHNICIAN/ENGINEER WILL PROVIDE RECOMMENDATIONS RELATIVE TO STABILIZATION. ONCE THE MATERIAL IS FOUND COMPETENT FOR ADDITIONAL MATERIAL PLACEMENT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE AREA FROM DEGRADATION. ANY ADDITIONAL MODIFICATIONS REQUIRED PRIOR TO COVERING WILL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. COMPACT EACH LAYER TO THE REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION INDICATED BELOW. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. SEE ENGINEER FOR COMPLETE SPECIFICATIONS.
- FURNISH BACKFILL AND FILL SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION; DEBRIS; WASTE; FROZEN MATERIALS; VEGETATION; AND OTHER DELETERIOUS MATTER. PLACE BACKFILL AND FILL MATERIALS IN 8 INCH (MAXIMUM) LOOSE LIFTS FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND 4 INCH (MAXIMUM) LOOSE LIFTS FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE. SUITABILITY OF SUBGRADE AND BACKFILL MATERIALS SHOULD BE EVALUATED DURING CONSTRUCTION BASED UPON ITS INTENDED USE. FIELD MOISTURE CONTENTS SHOULD BE MAINTAINED WITHIN 2 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ORDER TO PROVIDE ADEQUATE COMPACTION.

PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS: ALL FILL SHOULD BE PLACED IN RELATIVELY HORIZONTAL, LOOSE LIFTS AND SHOULD BE COMPACTED TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY, IN ACCORDANCE WITH ASTM D 698 (STANDARD PROCTOR):

A. STRUCTURAL FILL IS DEFINED AS ALL FILL PLACED UNDER AND AROUND FOUNDATIONS, UTILITIES, SIDEWALKS, AND ROADWAYS. COMPACT TOP 12 INCHES OF SUBGRADE AND EACH LAYER OF STRUCTURAL FILL MATERIAL TO A MINIMUM OF 100 PERCENT OF THE MAXIMUM DRY DENSITY.

B. NON-STRUCTURAL FILL IS DEFINED AS ALL FILL PLACED UNDER LAWN OR NON-PAVED SURFACES. COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF STRUCTURAL FILL MATERIAL TO A MINIMUM OF 90 PERCENT OF THE MAXIMUM DRY DENSITY.
- ALL EXCAVATION IS UNCLASSIFIED AND INCLUDES (WITHOUT LIMITATION THERETO) THE EXCAVATION AND REMOVAL OF ALL SOIL, SHALE, ROCK OR ROCK FORMATIONS, BOULDERS, EXISTING FOUNDATIONS, FILL, AND ANY TYPE OF SUBSURFACE CONDITION ENCOUNTERED IN THE CONTRACT AREA. NO CLAIMS FOR EXTRA COMPENSATION OR EXTENSION OF CONTRACT TIME BECAUSE OF THE NATURE OF SUBSURFACE CONDITIONS ENCOUNTERED WILL BE CONSIDERED.

GENERAL NOTES (CONTINUED):

- IN ADDITION TO RED-LINE MARK-UPS, THE CONTRACTOR SHALL SUPPLY TO THE UNIVERSITY, A DIGITAL AS-BUILT SURVEY (AUTOCAD FORMAT, USING PENNSYLVANIA STATE PLANE COORDINATES AND NAVD 83) OF ALL NEW WORK AND MODIFICATIONS TO EXISTING CONDITIONS INDICATED ON PLANS AND CONSTRUCTED IN THE FIELD, INCLUDING, BUT NOT LIMITED TO, EDGES OF PAVEMENT, CURBING, WALKWAYS, SURFACE GRADES/CONTOURS, U/G UTILITIES (PIPING, VALVES, FITTINGS, STRUCTURES, CONFLICTS, ETC.), ALL STORMWATER MANAGEMENT FACILITIES (SURFACE PONDS, U/G DETENTION FACILITIES, BMP'S, CONVEYANCE PIPES, MANHOLES, INLETS, ETC.) AND ANY DISCREPANCIES BETWEEN FIELD AND DESIGN DOCUMENTS. RED LINE MARK-UPS ALONE ARE NOT ACCEPTABLE. A LINE ITEM FOR THIS WORK SHALL BE INCLUDED ON THE SCHEDULE-OF-VALUES, AND FINAL PAYMENT WILL BE HELD UNTIL BOTH REDLINES AND DIGITAL SURVEY ARE RECEIVED AND ACCEPTED BY THE UNIVERSITY.
- THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING THE GUIDELINES PRESENTED IN FEDERAL REGISTER, VOLUME 54, NO. 209 (OCTOBER 1989), THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SECTION TITLED "CONSTRUCTION STANDARDS FOR EXCAVATION, 29 CFR, PART 1926, SUBPART P."
- NO UTILITIES, OTHER THAN THOSE INDICATED, SHALL BE INTERRUPTED OR DISTURBED FOR THIS PROJECT. CONTACT THE OFFICE OF PHYSICAL PLANT SHOULD UNEXPECTED EXISTING UNDERGROUND UTILITIES BE ENCOUNTERED.
- UTILITIES SERVING EXISTING BUILDINGS, INSTALLATIONS, OR FACILITIES SHALL NOT BE INTERRUPTED UNTIL THE CONTRACTOR HAS MADE THE NECESSARY ARRANGEMENTS WITH, AND HAS RECEIVED APPROVAL FROM, THE UNIVERSITY. IN THE EVENT THAT INTERRUPTION OF ANY EXISTING UTILITY SERVICE IS NECESSARY, THE RESPONSIBLE CONTRACTOR SHALL BE REQUIRED TO MAKE ALL THE ARRANGEMENTS FOR SHUTDOWN AND START-UP OF SUCH SERVICE WITH THE UNIVERSITY REPRESENTATIVE.
- ALL PLANNED INTERRUPTIONS TO UNIVERSITY SERVICES MUST BE SCHEDULED TWO (2) WEEKS IN ADVANCE AND THE WORK WILL GENERALLY BE DONE OUTSIDE OF NORMAL WORKING HOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PSU OPP ENGINEERING SERVICES ONE WEEK IN ADVANCE OF BEGINNING ACTIVE UTILITY INSTALLATION. THIS COORDINATION WILL BE TO EXCHANGE CONTACT INFORMATION FOR UPCOMING PROJECT. THE CONTRACTOR SHALL THEN CONTACT PSU OPP ENGINEERING SERVICES ONE DAY PRIOR TO ACTIVE INSTALLATION TO SCHEDULE GPS LOCATING OF UTILITIES PRIOR TO BACKFILLING. THIS EFFORT IS NOT TO SUPPORT THE SURVEYED AS-BUILTS REQUIRED TO BE PROVIDED BY THE CONTRACTORS. COORDINATE WITH KAELEN ROBB, MAPPING COORDINATOR (kmr16@psu.edu, 814.865.2792).
- ALL PIPED UTILITIES SHALL INCLUDE A CONTINUOUS #10 WIRE INSTALLED WITH THE UTILITY LINE TO BE USED FOR FUTURE LOCATES.
- ALL STORM DRAIN PIPES WILL BE INSPECTED AND ACCEPTED BY UTILITY SERVICES FROM INTERIOR CAMERA INSPECTION AFTER THE PIPE HAS BEEN INSTALLED AND BACKFILLED TO APPROXIMATELY FINAL GRADE FOR 30 DAYS. DEFICIENCIES WILL BE PROVIDED TO THE DESIGN ENGINEER FOR INCLUSION IN THE PUNCH LIST RECORD. THE CONTRACTOR IS TO COORDINATE WITH UTILITY SERVICES FOR ON-SITE ACCESS. APPROVAL OR REJECTION OF STORM DRAINS WILL BE BASED ON THE FOLLOWING STANDARDS, WHICH MUST BE INCLUDED ON THE CONSTRUCTION DOCUMENT PLANS OR SPECIFICATIONS.
 - THE MAXIMUM ALLOWABLE DEFLECTION OF THE STORM PIPE SHALL BE 5% OF THE PIPE'S INTERNAL DIAMETER.
 - ANY PIPE BELLY GREATER THAN 1" DEEP WILL BE REJECTED.
 - ANY ADVERSE (NEGATIVE OR UPHILL) SLOPES WILL BE REJECTED UNLESS INSTALLED BY DESIGN, OR WITH WRITTEN APPROVAL AND ACCEPTANCE BY ENGINEERING SERVICES. UNDER NO CIRCUMSTANCE ARE DESIGNERS, CONSTRUCTION REPRESENTATIVES, OR OTHER UNIVERSITY STAFF PERMITTED TO AUTHORIZE ADVERSE SLOPED STORM PIPES AT UTILITY OR OTHER CONFLICTS.
 - ANY NEW STORM PIPE DAMAGED AND REPAIRED BY ANY METHOD OTHER THAN APPROVED BY THE MANUFACTURER WILL BE REJECTED. IN ALL INSTANCES, OPP RESERVES THE RIGHT TO SUBMIT THE INFORMATION TO THE MANUFACTURER TO DETERMINE IF THEY STAND BY THE ORIGINAL WARRANTY FOLLOWING THE DAMAGE.
 - ANY JOINT NOT COMPLETELY SEATED OR WHERE BEDDING MATERIAL CAN BE OBSERVED AT OR INSIDE THE JOINT WILL BE REJECTED.
 - ANY JOINT OBSERVED TO LEAK TRICKLE FLOWS WILL BE REJECTED.
 - ANY JOINT WITH AN OFFSET ELEVATION OR MISALIGNMENT WHERE THE DOWNSTREAM PIPE CAN OBSTRUCT FLOW OR TRAP MATERIAL WILL BE REJECTED.
 - ANY BLIND CONNECTION TYPE JOINT WHERE A MANUFACTURER APPROVED SADDLE TEE OR FITTING HAS NOT BE USED WILL BE REJECTED.
- EACH NEW STORM DRAIN TRENCH SHALL BE EXCAVATED IN ITS ENTIRETY BEFORE ANY PIPE IS INSTALLED TO ENSURE THE SLOPES AND GRADES SHOWN ON THE DRAWINGS CAN BE ACHIEVED. IF UTILITY INTERFERENCE OCCURS, CONTACT OFFICE OF PHYSICAL PLANT FOR REVISED INFORMATION.

REQUIRED SUBMITTALS:

THE PROFESSIONALS REVIEW OF SHOP DRAWING SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FOLLOW THE INTENT OF THE CONTRACT DOCUMENTS. SUBMITTALS SHALL BE ELECTRONICALLY MAILED TO THE PROFESSIONAL IN PDF FORMAT. PROVIDE A COVER SHEET FOR EACH SUBMITTAL WITH THE PROJECT NAME, CONTRACTOR AND SUPPLIER INFORMATION. PROVIDE SHEET WITH A 4"x5" SPACE FOR PROFESSIONAL'S REVIEW STAMP. NOTE DEVIATIONS FROM REQUIREMENTS. INCLUDE CONTRACTOR'S CERTIFICATION THAT INFORMATION COMPLIES WITH REQUIREMENTS. PROFESSIONAL WILL REVIEW EACH SUBMITTAL, STAMP AND MARK TO INDICATE ACTION TAKEN, AND RETURN. COMPLIANCE WITH SPECIFIED CHARACTERISTICS IS THE CONTRACTOR'S RESPONSIBILITY. SHOP DRAWINGS & SUBMITTALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. KEY REQUIRED SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- SITE SPECIFIC SAFETY PLAN
- PROJECT SCHEDULE
- SCHEDULE OF VALUES
- CONSTRUCTION WASTE MANAGEMENT PLAN
- AS BUILT DRAWINGS (REDLINES)
- AS BUILT CAD SURVEY
- CLEAN BACKFILL
- STONE (SUBBASE, DRAINAGE, LANDSCAPE)
- EAS BMP CONTROLS
- WMA MIX DESIGN(S)
- ASPHALT FIBER REINFORCEMENT
- STORM STRUCTURES
- STORM PIPE FITTINGS
- TOPSOIL
- CIP CONCRETE MIX DESIGN(S), ADDITIVES, CURE/SEAL

LIST OF SPECIFICATIONS:

- 001300 - SUBMITTALS
- 001410 - TESTING LABORATORY SERVICES
- 002000 - SITE WORK
- 002100 - SITE PREPARATION
- 002200 - EARTHWORK
- 002220 - UTILITY TRENCH EXCAVATION, ETC.
- 002270 - SOIL EROSION AND SEDIMENT CONTROL
- 002511 - WARM-MIX ASPHALT PAVING
- 002512 - FIBER REINF. FOR ASPHALT PAVING
- 033000 - CAST IN PLACE CONCRETE

OFFSITE TOPSOIL SUPPLY:

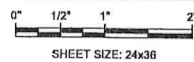
- OFFSITE TOPSOIL SHOULD CONSIST OF LOAM OR SILT-LOAM TEXTURAL CLASSIFICATION ACCORDING TO THE USDA CLASSIFICATION SYSTEM. THE CONTRACTOR MUST PROVIDE A GRADATION (PARTICLE SIZE) ANALYSIS FROM A TESTING LAB DEMONSTRATING THE TEXTURAL CLASSIFICATION AS A SUBMITTAL FOR APPROVAL BY THE UNIVERSITY PRIOR TO HAULING OR DELIVERY TO THE SITE. THE DESIRED ORGANIC MATTER CONTENT IS BETWEEN 3% AND 5%, TILLED INTO THE TOP 2 INCHES OF SOIL. THE MAXIMUM CLAY CONTENT FOR ACCEPTABLE MATERIAL IS 32%.
- THE CONTRACTOR MUST ALSO HAVE THE SOIL TESTED BY AN APPROVED SOILS TESTING LABORATORY AND SHALL INCLUDE COPIES OF THE TEST AND RECOMMENDATIONS AS A PART OF THE TOPSOIL SUBMITTAL PROCESS. THE CONTRACTOR SHALL SUBMIT A ONE-GALLON SAMPLE, SOURCE, AND LETTER OF CERTIFICATION FROM THE SUPPLIER FOR APPROVAL PRIOR TO HAULING OR DELIVERY.

SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
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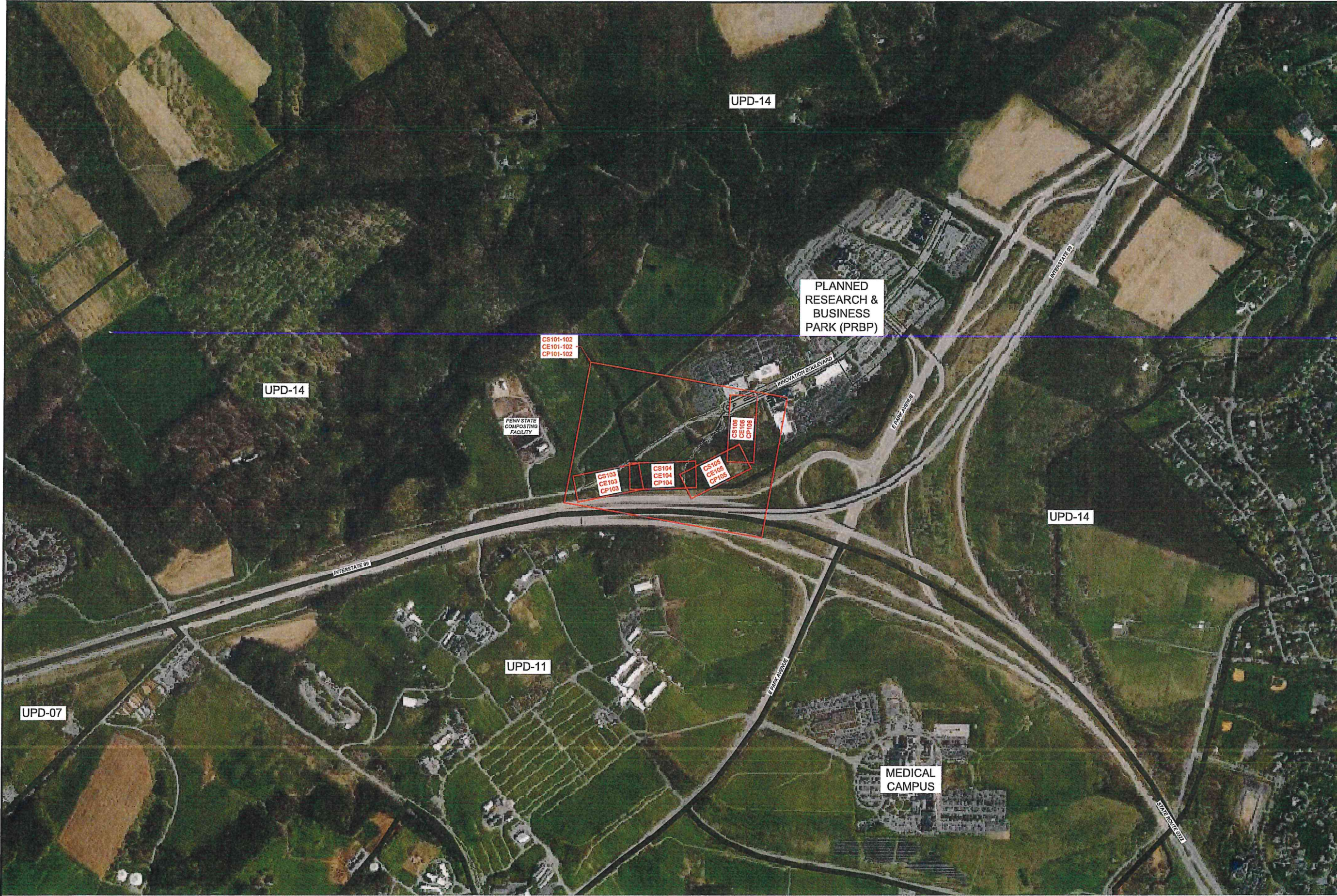
RELOCATE EXISTING BIKE PATH

GENERAL NOTES, SUBMITTALS, SPECIFICATIONS LIST

INNOVATION PARK

BUILDING NO. 9999-999
PROJECT NO. 00-10144.00
DRAWN BY: JDM/33
CHECKED BY: RAM/551

SHEET:
CS001

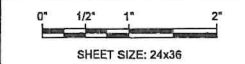


SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
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2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION



RELOCATE EXISTING
BIKE PATH

KEY MAP

INNOVATION PARK

KEY MAP

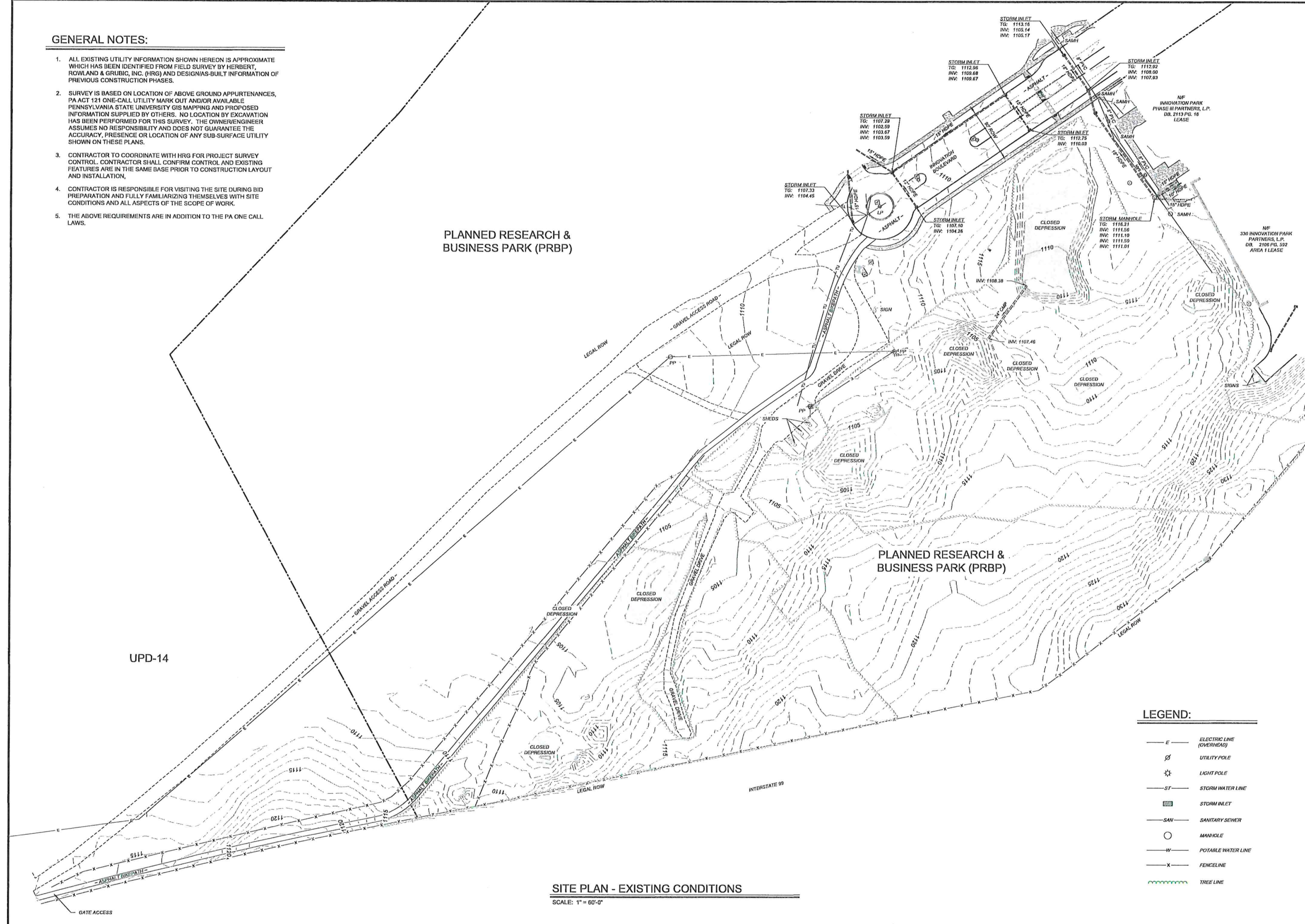
SCALE: 1" = 400'-0"

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	
DRAWN BY: JDM33	CS002
CHECKED BY: RAM5951	

GENERAL NOTES:

1. ALL EXISTING UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE WHICH HAS BEEN IDENTIFIED FROM FIELD SURVEY BY HERBERT ROWLAND & GRUBIC, INC. (HRG) AND DESIGN/BUILT INFORMATION OF PREVIOUS CONSTRUCTION PHASES.
2. SURVEY IS BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, PA ACT 121 ONE-CALL UTILITY MARK OUT AND/OR AVAILABLE PENNSYLVANIA STATE UNIVERSITY GIS MAPPING AND PROPOSED INFORMATION SUPPLIED BY OTHERS. NO LOCATION BY EXCAVATION HAS BEEN PERFORMED FOR THIS SURVEY. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY AND DOES NOT GUARANTEE THE ACCURACY, PRESENCE OR LOCATION OF ANY SUB-SURFACE UTILITY SHOWN ON THESE PLANS.
3. CONTRACTOR TO COORDINATE WITH HRG FOR PROJECT SURVEY CONTROL. CONTRACTOR SHALL CONFIRM CONTROL AND EXISTING FEATURES ARE IN THE SAME BASE PRIOR TO CONSTRUCTION LAYOUT AND INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE DURING BID PREPARATION AND FULLY FAMILIARIZING THEMSELVES WITH SITE CONDITIONS AND ALL ASPECTS OF THE SCOPE OF WORK.
5. THE ABOVE REQUIREMENTS ARE IN ADDITION TO THE PA ONE CALL LAWS.

PLANNED RESEARCH & BUSINESS PARK (PRBP)

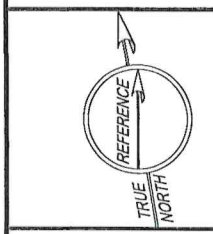


UPD-14

SITE PLAN - EXISTING CONDITIONS
 SCALE: 1" = 60'-0"

LEGEND:

- E — ELECTRIC LINE (OVERHEAD)
- ⊕ UTILITY POLE
- ⊙ LIGHT POLE
- ST — STORM WATER LINE
- ◻ STORM INLET
- SAN — SANITARY SEWER
- MANHOLE
- W — POTABLE WATER LINE
- X — FENCELINE
- TREE LINE

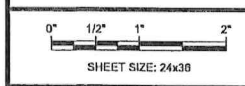


SUBMISSIONS

DATE	DESCRIPTION
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2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
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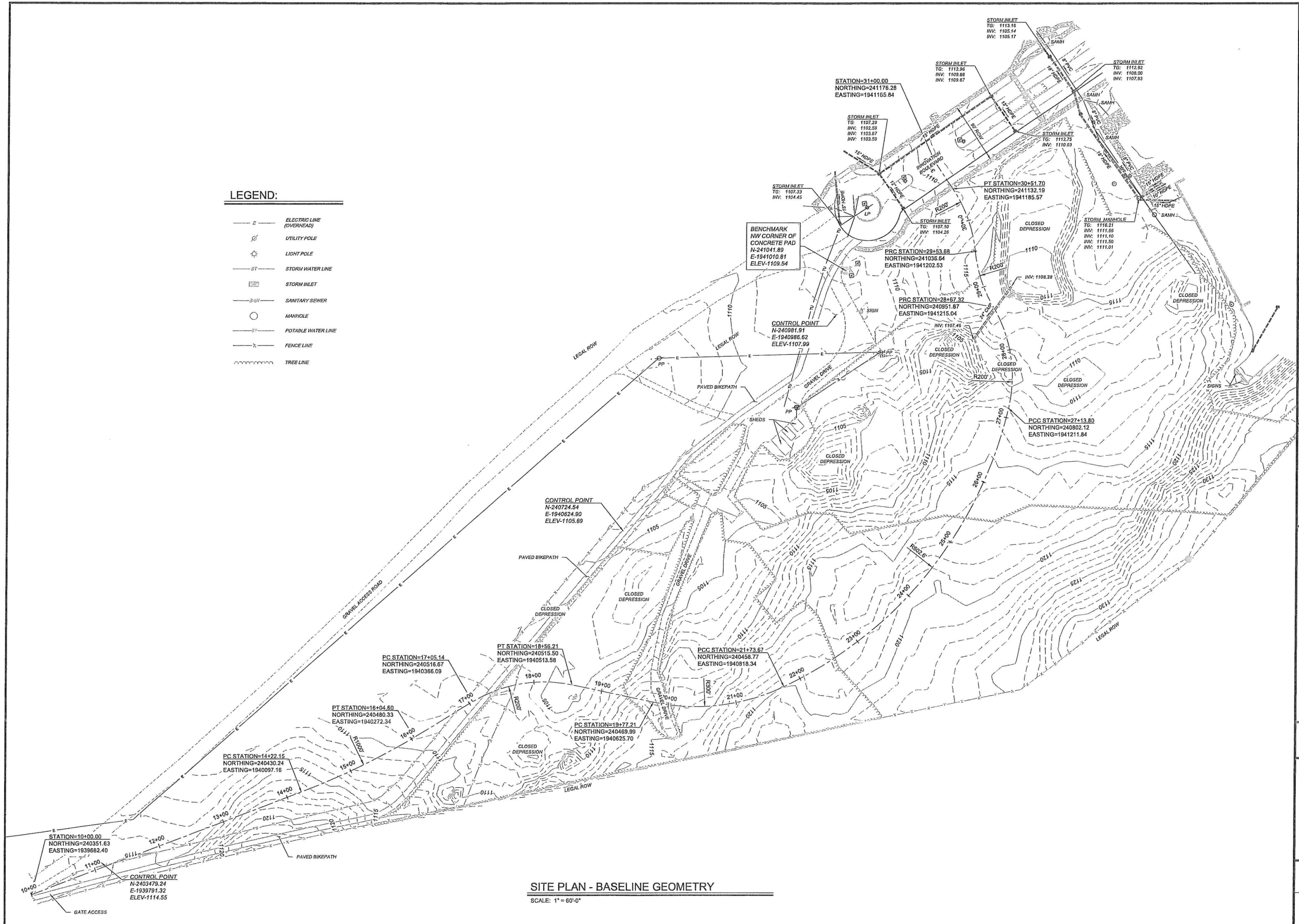
RELOCATE EXISTING BIKE PATH

SITE PLAN EXISTING CONDITIONS

INNOVATION PARK

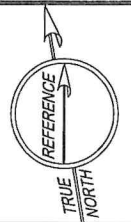
LEGEND:

- E— ELECTRIC LINE (OVERHEAD)
- U— UTILITY POLE
- L— LIGHT POLE
- ST— STORM WATER LINE
- S— STORM INLET
- S— SANITARY SEWER
- M— MANHOLE
- W— POTABLE WATER LINE
- F— FENCE LINE
- T— TREE LINE



SITE PLAN - BASELINE GEOMETRY

SCALE: 1" = 60'-0"

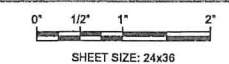


SUBMISSIONS

DATE	DESCRIPTION
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2025/10/30	PSU TEAM REVIEW - DD (60%)
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REVISIONS

SYM	DATE	DESCRIPTION








RELOCATE EXISTING BIKE PATH

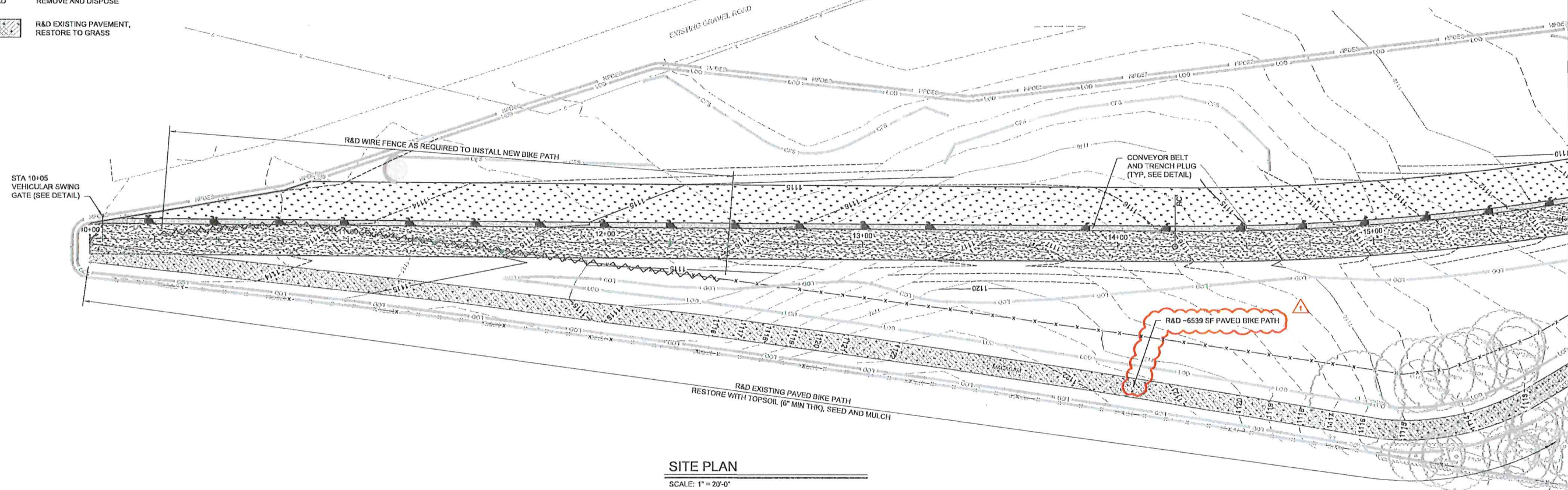
**SITE PLAN
BASELINE GEOMETRY**

INNOVATION PARK

BUILDING NO. 9999-999	SHEET: 02-10144-00
PROJECT NO. 02-10144-00	CS102
DRAWN BY: JDM/33	
CHECKED BY: RAM/5951	

LEGEND:

-  TSA SURFACE (SEE TYP SECTION)
-  VEGETATED SURFACE RESTORATION
-  GRAVEL VERGE (SEE TYP SECTION)
-  R&D REMOVE AND DISPOSE
-  R&D EXISTING PAVEMENT, RESTORE TO GRASS



SITE PLAN

SCALE: 1" = 20'-0"


DESIGN AND ENGINEERING SERVICES
 113 Physical Plant Building
 108 Stewardship Drive
 University Park, PA 16802
 Phone: (814) 863-3300
 www.opp.psu.edu

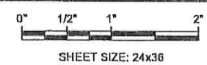


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
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2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
	2026/02/04	RESPONSE TO CT COMMENTS DATED 2026/02/02

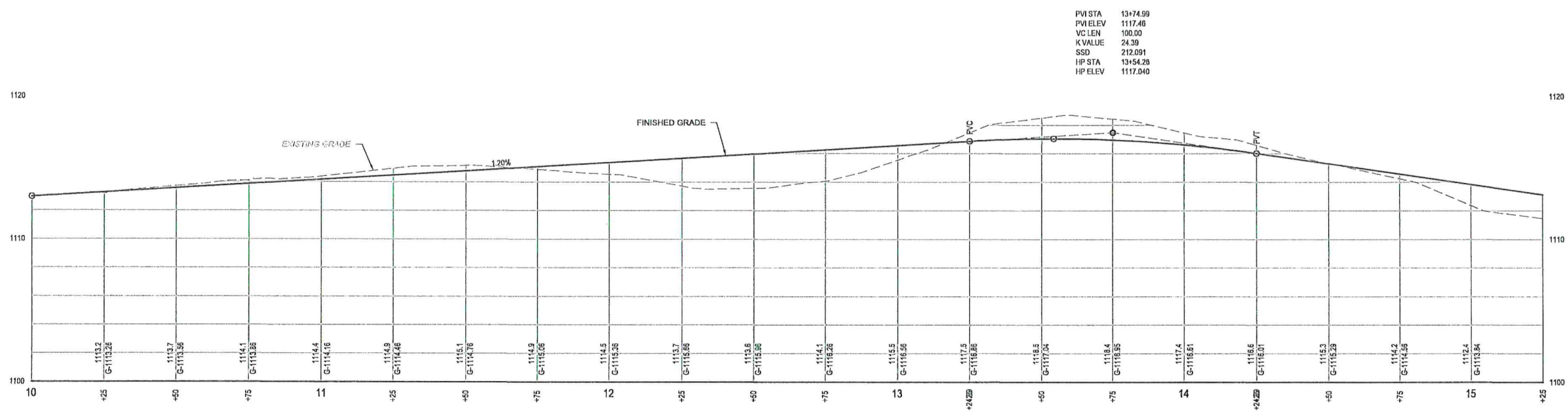


RELOCATE EXISTING BIKE PATH

SITE PARTIAL PLAN AND PROFILE DEMO & NEW WORK

INNOVATION PARK

BUILDING NO. 9999-999 SHEET:
 PROJECT NO. 00-10144.00
 DRAWN BY: JDM33 CS103
 CHECKED BY: RAM5951

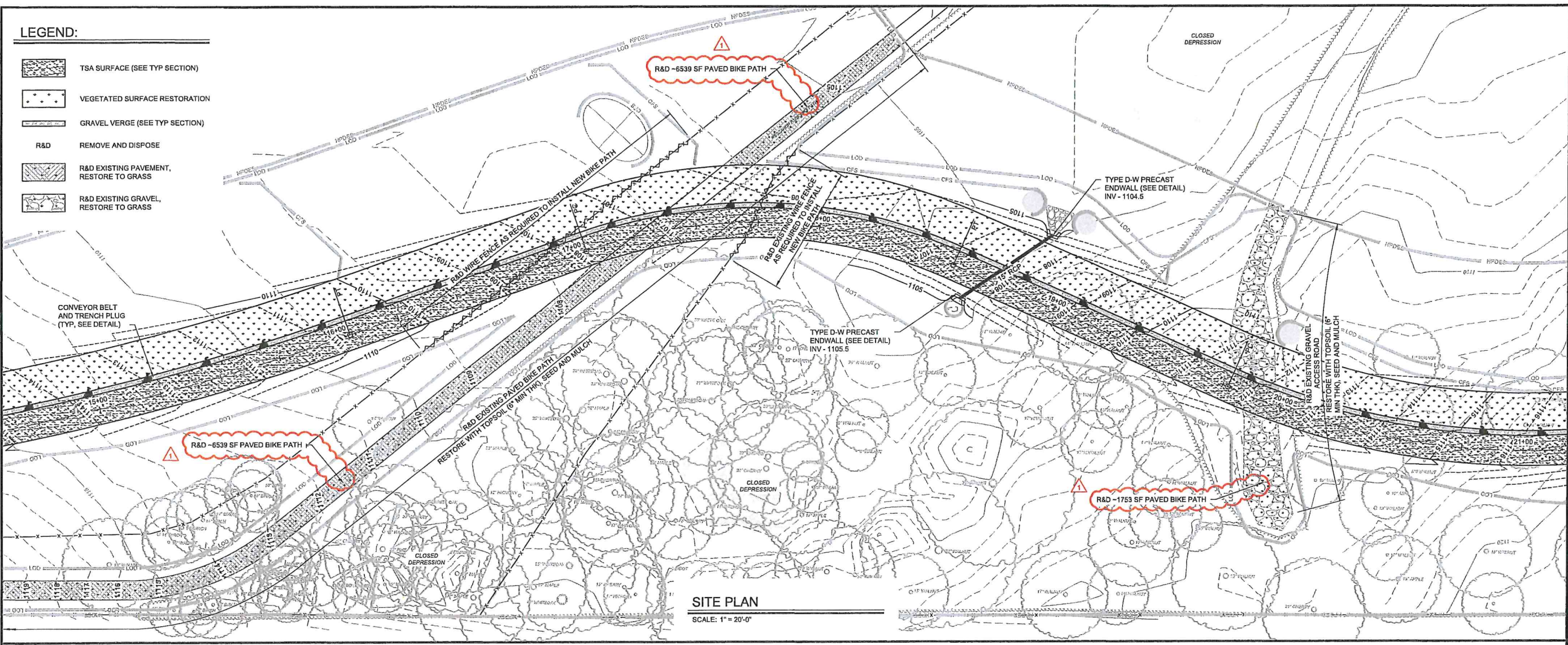


SITE PROFILE

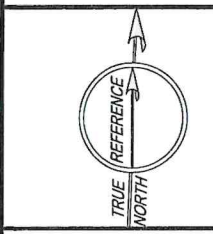
SCALE: 1" = 20'-0" (HORZ)
 1" = 5'-0" (VERT)

LEGEND:

- TSA SURFACE (SEE TYP SECTION)
- VEGETATED SURFACE RESTORATION
- GRAVEL VERGE (SEE TYP SECTION)
- R&D** REMOVE AND DISPOSE
- R&D EXISTING PAVEMENT, RESTORE TO GRASS
- R&D EXISTING GRAVEL, RESTORE TO GRASS



SITE PLAN
SCALE: 1" = 20'-0"

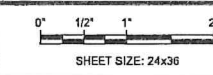


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
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2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
⚠	2026/02/04	RESPONSE TO CT COMMENTS DATED 2026/02/02

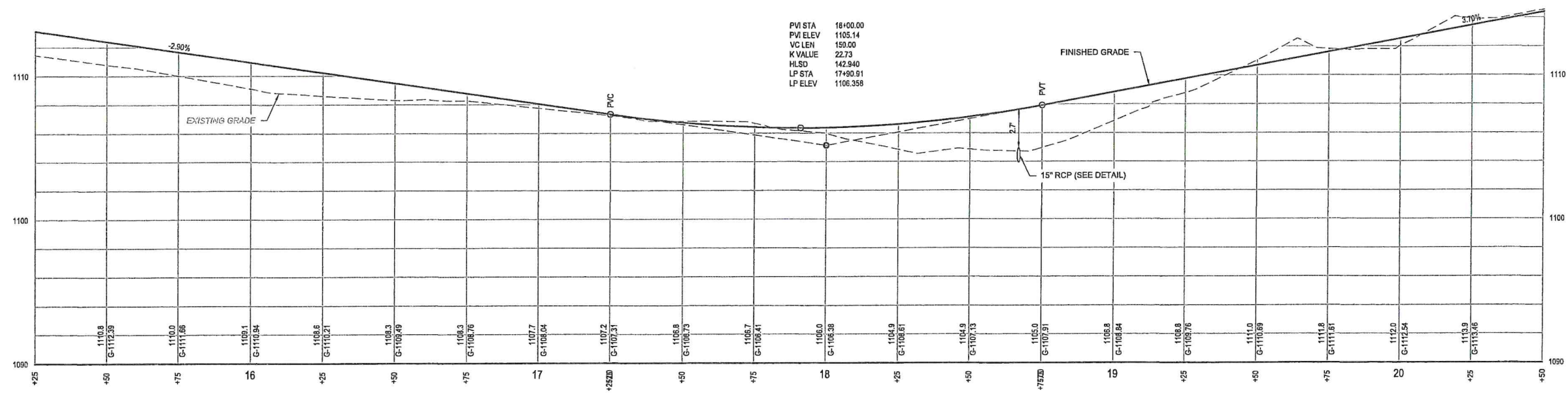


RELOCATE EXISTING BIKE PATH

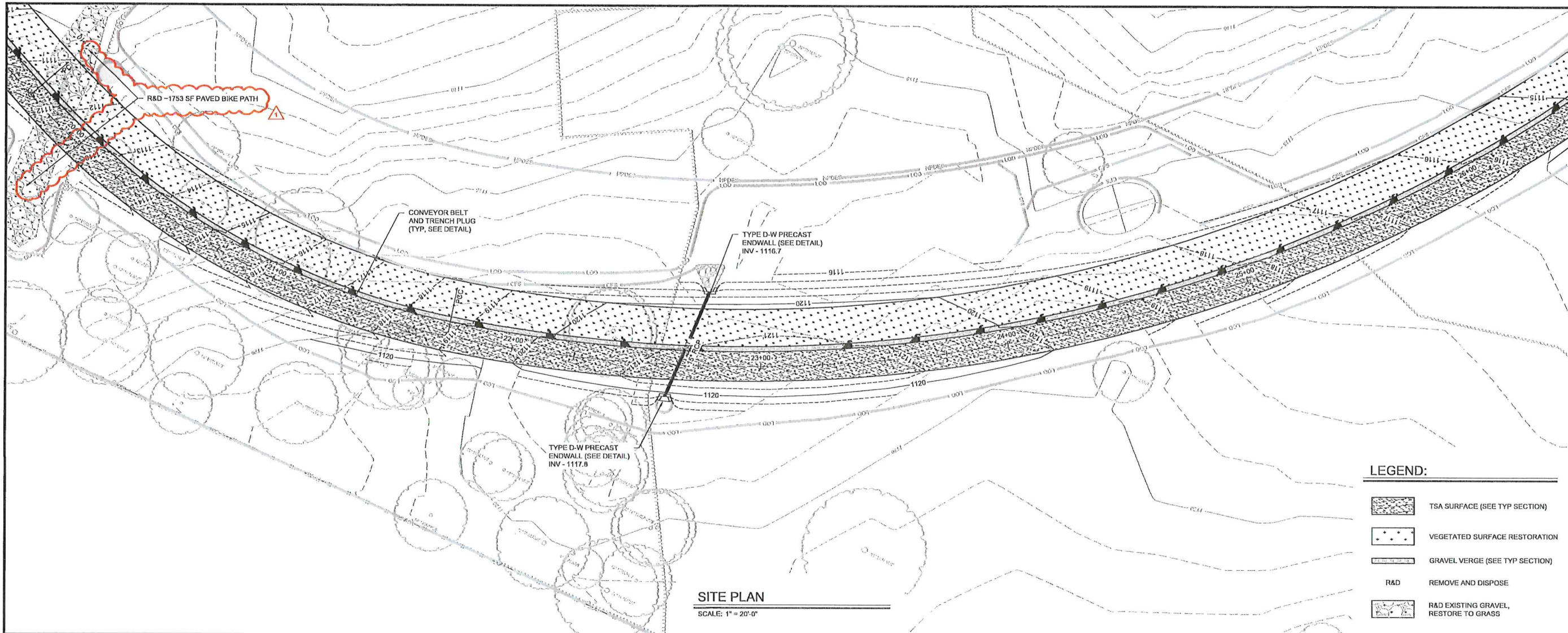
SITE PARTIAL PLAN AND PROFILE DEMO & NEW WORK

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CS104
DRAWN BY: JDM33	
CHECKED BY: RAM5951	

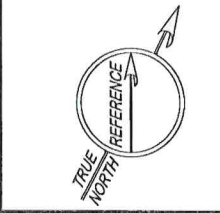


SITE PROFILE
SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)



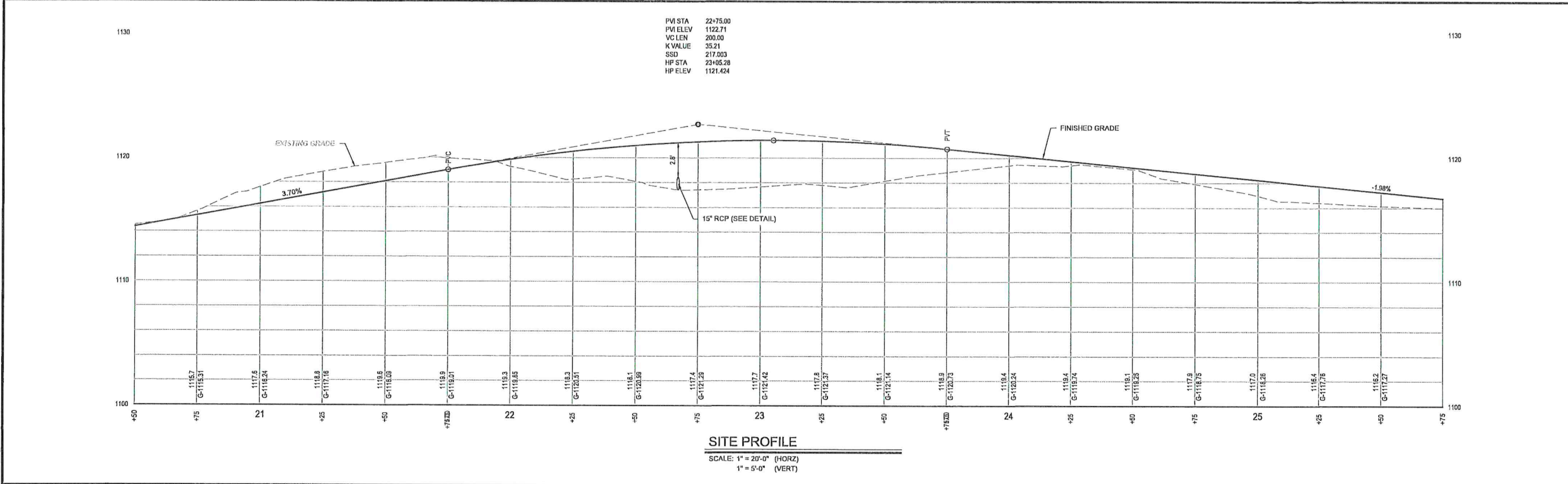
SITE PLAN
 SCALE: 1" = 20'-0"

- LEGEND:**
- TSA SURFACE (SEE TYP SECTION)
 - VEGETATED SURFACE RESTORATION
 - GRAVEL VERGE (SEE TYP SECTION)
 - REMOVE AND DISPOSE
 - R&D EXISTING GRAVEL, RESTORE TO GRASS



SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
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2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW



SITE PROFILE
 SCALE: 1" = 20'-0" (HORZ)
 1" = 5'-0" (VERT)

REVISIONS

SYM	DATE	DESCRIPTION
⚠	2026/02/04	RESPONSE TO CT COMMENTS DATED 2025/02/02

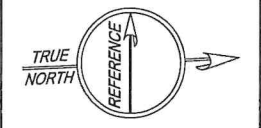


RELOCATE EXISTING BIKE PATH

SITE PARTIAL PLAN AND PROFILE DEMO & NEW WORK

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CS105
DRAWN BY: JEM/33	
CHECKED BY: RAM/551	

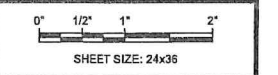


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
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2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (80%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
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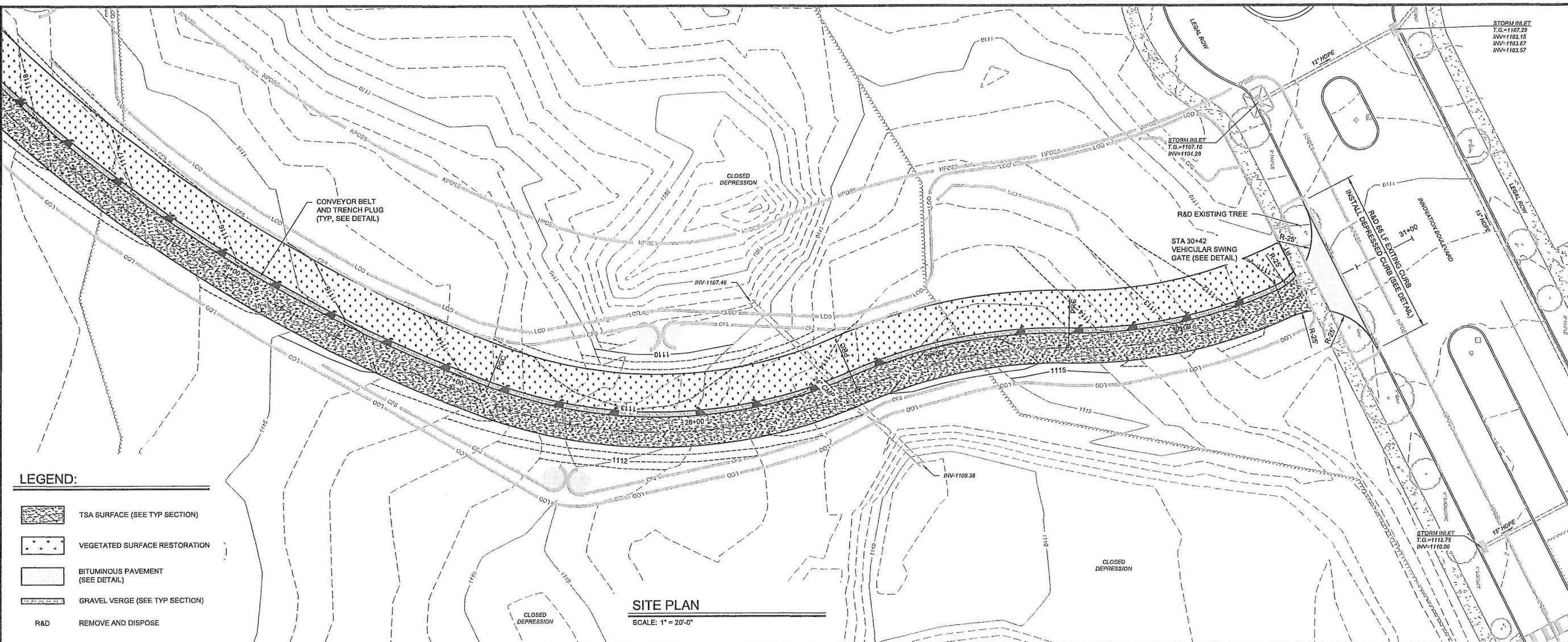


**RELOCATE EXISTING
BIKE PATH**

**SITE PARTIAL PLAN
AND PROFILE
DEMO & NEW WORK**

INNOVATION PARK

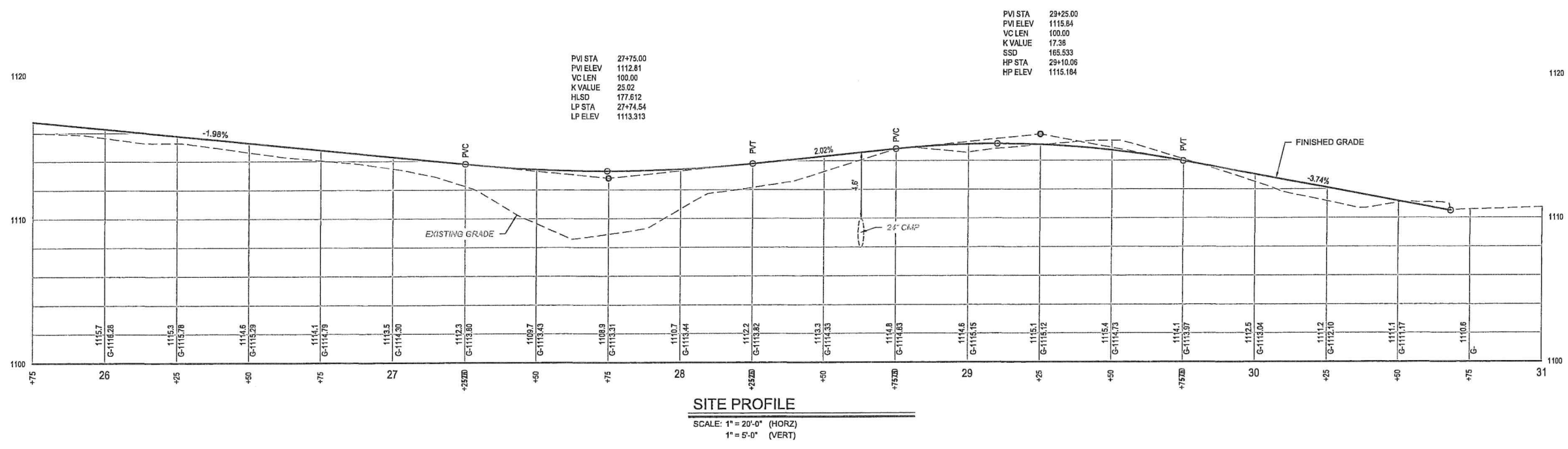
BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CS106
DRAWN BY: JDM33	
CHECKED BY: RAM5951	



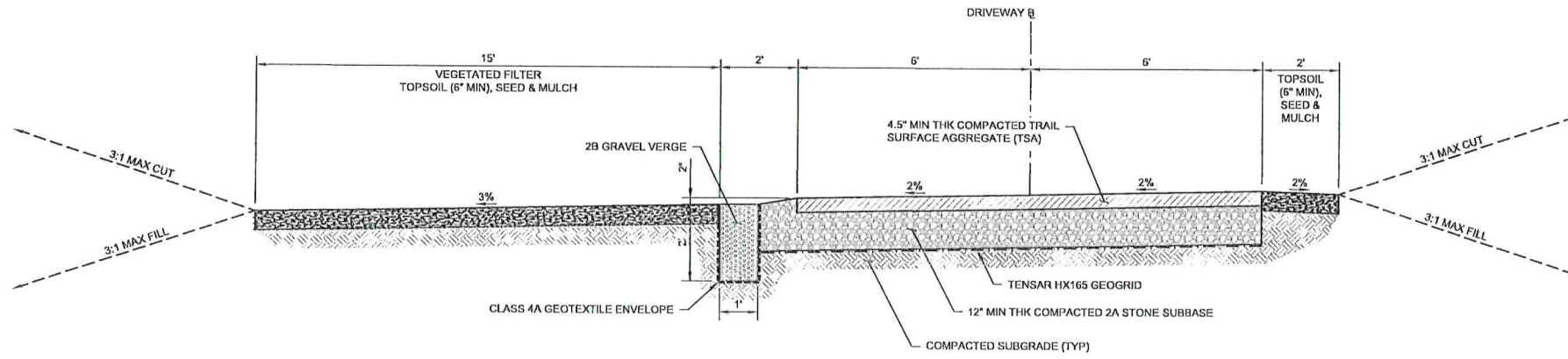
LEGEND:

	TSA SURFACE (SEE TYP SECTION)
	VEGETATED SURFACE RESTORATION
	BITUMINOUS PAVEMENT (SEE DETAIL)
	GRAVEL VERGE (SEE TYP SECTION)
	R&D REMOVE AND DISPOSE

SITE PLAN
SCALE: 1" = 20'-0"

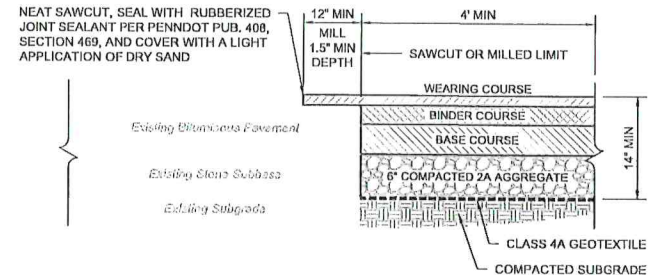


SITE PROFILE
SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)



TYP BIKE PATH SECTION

SCALE: NONE

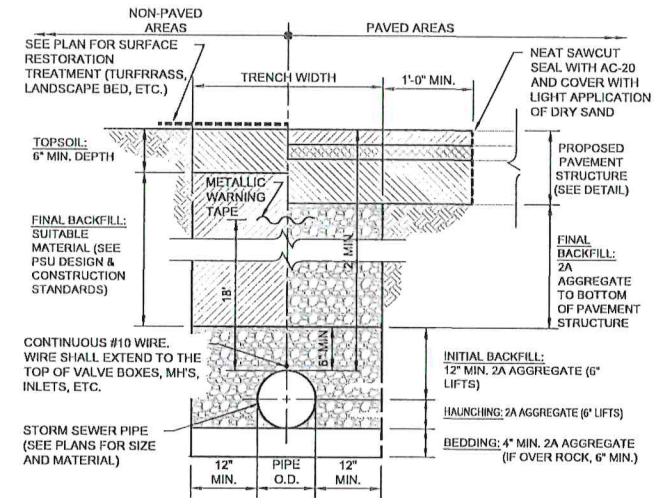


PAVEMENT LEGEND:

- SUPERPAVE ASPHALT MIXTURE DESIGN, WMA WEARING COURSE, PG 64S-22, 0.3 TO <3.0 MIL ESALS, 9.5mm MIX, 1-1/2\"/>
- SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BINDER COURSE, PG 64S-22, 0.3 TO <3.0 MIL ESALS, 19.0mm MIX, 2-1/2\"/>
- SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BASE COURSE, PG 64S-22, 0.3 TO <3.0 MIL ESALS, 25.0mm MIX, 4\"/>

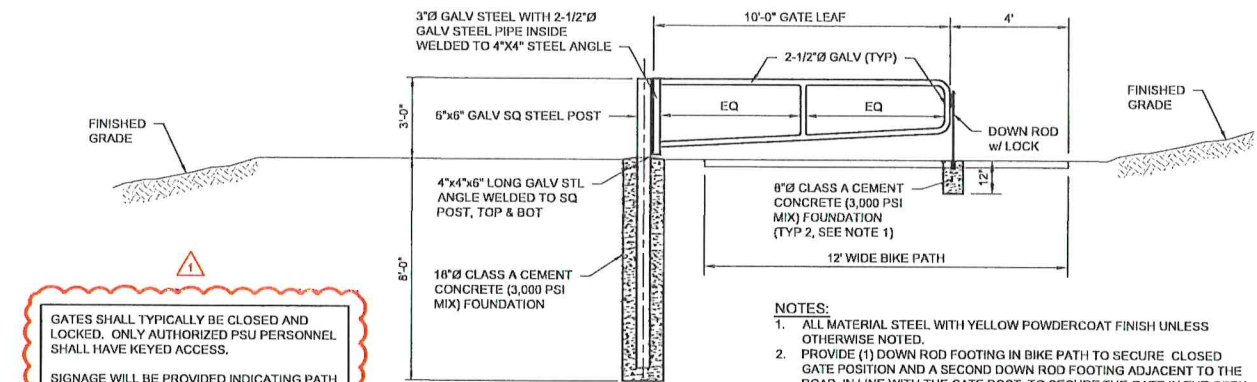
STANDARD BITUMINOUS PAVEMENT DETAIL

SCALE: NONE



STORM SEWER TRENCH DETAIL

SCALE: NONE



GATES SHALL TYPICALLY BE CLOSED AND LOCKED. ONLY AUTHORIZED PSU PERSONNEL SHALL HAVE KEYED ACCESS.

SIGNAGE WILL BE PROVIDED INDICATING PATH IS OPEN TO NON-MOTORIZED VEHICLES. AUTHORIZED MOTOR VEHICLE ACCESS ONLY.

VEHICULAR SWING GATE DETAIL

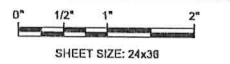
SCALE: NONE

SUBMISSIONS

DATE:	DESCRIPTION:
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REVISIONS

SYM	DATE	DESCRIPTION
A	2026/02/04	RESPONSE TO CT COMMENTS DATED 2026/02/02



SHEET SIZE: 24x36

RELOCATE EXISTING BIKE PATH

SITE DETAILS

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CS501
DRAWN BY: JDM33	
CHECKED BY: RAM5951	

STANDARD E&S NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN...
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS...
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL...
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE...
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS...
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S)...
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION...
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS...
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT...
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL...
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN...
14. VEHICLES AND EQUIPMENT SHALL NEVER BE OPERATED OR STORED IN AREAS DESIGNATED AS SENSITIVE...
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S SHALL BE MAINTAINED PROPERLY...
16. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE...
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE...
18. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS...
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES...
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS...
21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS...
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS...
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS...
24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES...
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD...
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE...
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT...
28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER...
29. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED...
30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS...
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S...
32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS...
33. FAILURE TO CORRECTLY INSTALL E&S BMP'S, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE...

RECEIVING WATERS:

THE WATERSHED HAS A CHAPTER 93 DESIGNATED USE FOR COLD WATER FISHES (CWF) AND LIES DOWNSTREAM APPROXIMATELY 0.4 MILES NORTHWEST.

THERMAL IMPACTS:

THERMAL IMPACTS OF THIS SITE DEVELOPMENT ARE MITIGATED BY MANAGING THE CHANGE IN VOLUME USING DEP APPROVED PAG-01 CONTROLS.

MAINTENANCE SCHEDULE OF E&S CONTROLS:

THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL SOIL DISTURBING ACTIVITIES CEASE AND PERMANENT STABILIZATION OF ANY DISTURBED AREA IS COMPLETE AND ACCEPTED BY A REPRESENTATIVE OF THE CENTRE COUNTY CONSERVATION DISTRICT.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD HE SUSPECT THAT ANY SEDIMENT OR EROSION CONTROL DEVICE IS NOT OPERATING CORRECTLY.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL DEVICES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

E&S BMP'S SHALL BE INSPECTED WEEKLY AND AFTER RUNOFF PRODUCING RAINFALL EVENTS. SEDIMENT REMOVED FROM E&S DEVICES SHALL BE PLACED ON THE TOPSOIL STOCKPILE.

INLET FILTER PROTECTION (IFP) FILTER MAT (PREFERRED DEVICE); CLEAN ONCE SEDIMENT REACHES 1/4 MAX CAPACITY; REPLACE IF RIPPED OR TORN.

PUMPED WATER FILTER BAG (PWFB) IF REQUIRED, COORDINATE LOCATION WITH DESIGN PROFESSIONAL AND CCCD. PWFB SHALL BE INSPECTED DAILY.

COMPOST FILTER CFS (CFS) TRAFFIC SHALL NOT BE PERMITTED TO CROSS CFS. CFS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.

CONSTRUCTION ENTRANCE (RCE) IF REQUIRED, THE RCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN. THE RCE SHALL BE INSPECTED WEEKLY AND ADDITIONAL ASHOTO #1 STONE SHALL BE KEPT ON SITE.

THIS PLAN SHALL NOT BE CONSIDERED ALL-INCLUSIVE AND THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING OFF-SITE STORM DRAINS.

ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE STABILIZED IMMEDIATELY.

TEMPORARY SEEDING:

ROUGH GRADED AREAS AND TOPSOIL PILES THAT WILL NOT BE FINAL GRADED AND PERMANENTLY SEEDDED WILL BE SEEDDED IMMEDIATELY AFTER EXPOSURE WITH TEMPORARILY SEEDDED USING THE FOLLOWING SCHEDULE:

- AG. GRADE LIME 50 LBS. PER 1,000 SQ. FEET
- FERTILIZER 10-10-10 11-12 LBS. PER 1,000 SQ. FEET
- ANNUAL RYE GRASS (68.2% LIVE SEED) 1 LB. PER 1,000 SQ. FEET
- WOOD CELLULOSE FIBER MULCH 130 LBS. PER 1000 SQ. FEET

THIS SEEDING WILL PROVIDE TEMPORARY SURFACE PROTECTION FOR THE SOIL SO AS TO REDUCE THE AMOUNT AND RATE OF SURFACE WATER RUNOFF AND THEREBY REDUCE THE YIELD OF SEDIMENT MATERIAL.

PERMANENT SEEDING:

PERMANENT CONTROL MEASURES TO MINIMIZE EROSION AND SEDIMENTATION SHALL BE THROUGH THE STABILIZATION OF SOIL AS SOON AS POSSIBLE WITH PERENNIAL VEGETATION IN NON-ROADWAY AREAS.

- 1. ROUGH GRADE AND REMOVE ALL DEBRIS, LARGE STONES, AND CONSTRUCTION MATERIALS.
2. APPLY AGRICULTURAL GRADE LIME AT A MINIMUM OF 50 LBS. PER 1000 SQ. FT..
3. APPLY BASIC FERTILIZER 10-20-20 AT MINIMUM OF 25 LBS. PER 1000 SQ. FT.
4. TILL ALL ABOVE MATERIALS THOROUGHLY INTO A 4" TO 6" SOIL DEPTH.
5. FINISH GRADE FOR SEEDING.
6. APPLY STARTER FERTILIZER 10-10-10 AT A MINIMUM OF 20 LBS. PER 1000 SQ. FT.
7. APPLY SEED AT AN APPLICATION RATE OF 10 LBS. PER 1000 SQ. FT.
8. TIME OF SEEDING: a. SPRING (APRIL 01 - JUNE 30)* b. FALL (SEPTEMBER 01 - OCTOBER 15)*
9. RAKE OR DRAG TO COVER SEED LIGHTLY.
10. ROLL LIGHTLY TO PLACE SEED IN CONTACT WITH THE SOIL.
11. APPLY WOOD CELLULOSE FIBER MULCH AT AN APPLICATION RATE OF 1,500 LBS. PER ACRE.
12. MULCH TO BE ANCHORED ACCORDING TO THE CURRENT PENN STATE UNIVERSITY AGRONOMY GUIDE.

NO SEEDING OR SODDING IS TO BE DONE WHEN THE GROUND IS FROZEN OR DURING DAYS OF EXTREME HEAT (85 DEGREES). IF WORK MUST BE PERFORMED OUTSIDE OF THESE PARAMETERS THE UNIVERSITY REPRESENTATIVE MUST BE CONTACTED.

ANALYSIS OF GEOLOGIC FORMATIONS AND SOIL CONDITIONS:

GEOLOGY/FLOODPLAIN:

THE eMapPA WEBSITE IDENTIFIES THE AREA AS BEING LOCATED WITHIN THE STONEHENGE / LARKE FORMATION (DOLOMITE). THIS REGION IS KNOWN FOR SINKHOLES.

BASED ON THE FEMA WEBSITE, THE PROJECT SITE IS IN AN AREA OF "MINIMAL FLOOD RISK".

SOILS INFORMATION NOTE:

THE SOILS INFORMATION PROVIDED IS GENERAL INFORMATION ONLY TAKEN FROM THE WEB SOIL SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN ENGINEER SHOULD CONDITIONS NOT BE AS LISTED IN THE SOILS REPORT AND OR GEOLOGIC DESCRIPTION.

TABLE E.1 Limitations of Pennsylvania Soils Pertaining to Earth Disturbance Projects (Absence of an X does not necessarily mean "No Potential Limitation") NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST

Table with 15 columns: SOIL NAME, CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, DROUGHTY, EASILY ERODIBLE, FLOODING, DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE, HYDRIC /HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, SHRINK-SWELL, POTENTIAL SINKHOLE, PONDING, WETNESS. Row 1: Hagerstown, X, S, , X, , X, X, X, X, X, X, X, X, , , .

This region is known for sinkholes. The contractor shall utilize a geotechnical engineer to resolve any sinkhole issues that may develop during construction.

RESOLUTION TO SOIL LIMITATIONS:

CUTBANKS CAVE: TRENCHING OPERATIONS ARE LIMITED AND SHALLOW. THE CONTRACTOR IS REQUIRED TO BE OSHA 30 HOUR CERTIFIED AND TO MEET OSHA REGULATIONS FOR WORKING IN TRENCHES.

CORROSIVE TO CONCRETE/STEEL: ALL PROPOSED PIPING IS REINFORCED CONCRETE.

DROUGHTY: PSU DESIGN AND CONSTRUCTION STANDARDS REQUIRE THE CONTRACTOR TO MAINTAIN MOISTURE TO NEWLY VEGETATED AREAS UNTIL VEGETATION IS ESTABLISHED.

EASILY ERODIBLE: THE PLAN SEQUENCE REQUIRES THE EXCAVATION TO BE TEMPORARILY STABILIZED AT THE END OF EACH WORKDAY. ADDITIONAL BMP'S WILL BE IMPLEMENTED TO ACCOUNT FOR ANY RUNOFF DURING THE WORKDAY AND/OR UNFORESEEN CIRCUMSTANCES.

FLOODING: ACCORDING TO THE FEMA FLOOD MAP SERVICE CENTER WEBSITE, THE PROJECT SITE LIES WITHIN AN AREA OF MINIMAL FLOOD RISK (ZONE X).

DEPTH TO SATURATED ZONE / HIGH WATER TABLE: THIS AREA OF CAMPUS HAS BEEN PREVIOUSLY DEVELOPED WITHOUT ENCOUNTERING HIGH WATER TABLE OR SATURATED SOILS.

HYDRIC /HYDRIC INCLUSIONS: PER THE NRCS WEBSOIL WEBSITE, THERE ARE NO HYDRIC SOIL RATINGS WITHIN THE PROJECT AREA.

LOW STRENGTH/LANDSLIDE PRONE: ALL EXPOSED EARTH AREAS ALONG THE BIKEWAY CORRIDOR WILL BE IMMEDIATELY STABILIZED WITH VEGETATIVE COVER.

SLOW PERCOLATION: NO AREAS OF INFILTRATION ARE PLANNED FOR THIS PROJECT.

PIPING: THERE ARE NO PROPOSED CONDITIONS THAT WOULD PROMOTE PIPING.

POOR SOURCE OF TOPSOIL: THE UNIVERSITY REQUIRES SOIL TESTING TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS.

FROST ACTION: CONTRACTOR SHALL NOT CONSTRUCT EMBANKMENTS NOR PLACE FILL DURING TIMES PERIODS PRONE TO FROST.

SHRINK-SWELL: A MATERIALS AND GEOTECHNICAL TESTING FIRM WILL BE HIRED BY THE UNIVERSITY TO MAKE RECOMMENDATIONS SHOULD POOR SOILS BE ENCOUNTERED.

POTENTIAL SINKHOLE: THE eMapPA WEBSITE IDENTIFIES THE AREA AS BEING LOCATED WITHIN THE STONEHENGE / LARKE FORMATION. THIS REGION HAS A POTENTIAL FOR SINKHOLE DEVELOPMENT.

PONDING: CONTRACTOR MUST MAINTAIN POSITIVE GRADE TO PREVENT PONDING.

WETNESS: N/A

CONTRACTOR RESPONSIBILITIES:

RECYCLING AND DISPOSAL:

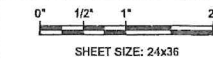
THE CONTRACTOR WILL ENSURE THAT RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH ALL APPLICABLE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS.

FILL MATERIALS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL FOR ALL IMPORTED MATERIALS.

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS INCLUDES ROCK, SOIL, STONE, DREGGED MATERIALS, USED ASPHALT AND BRICK, BLOCK AND CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTES AND IS RECOGNIZABLE AS SUCH.

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.



RELOCATE EXISTING BIKE PATH

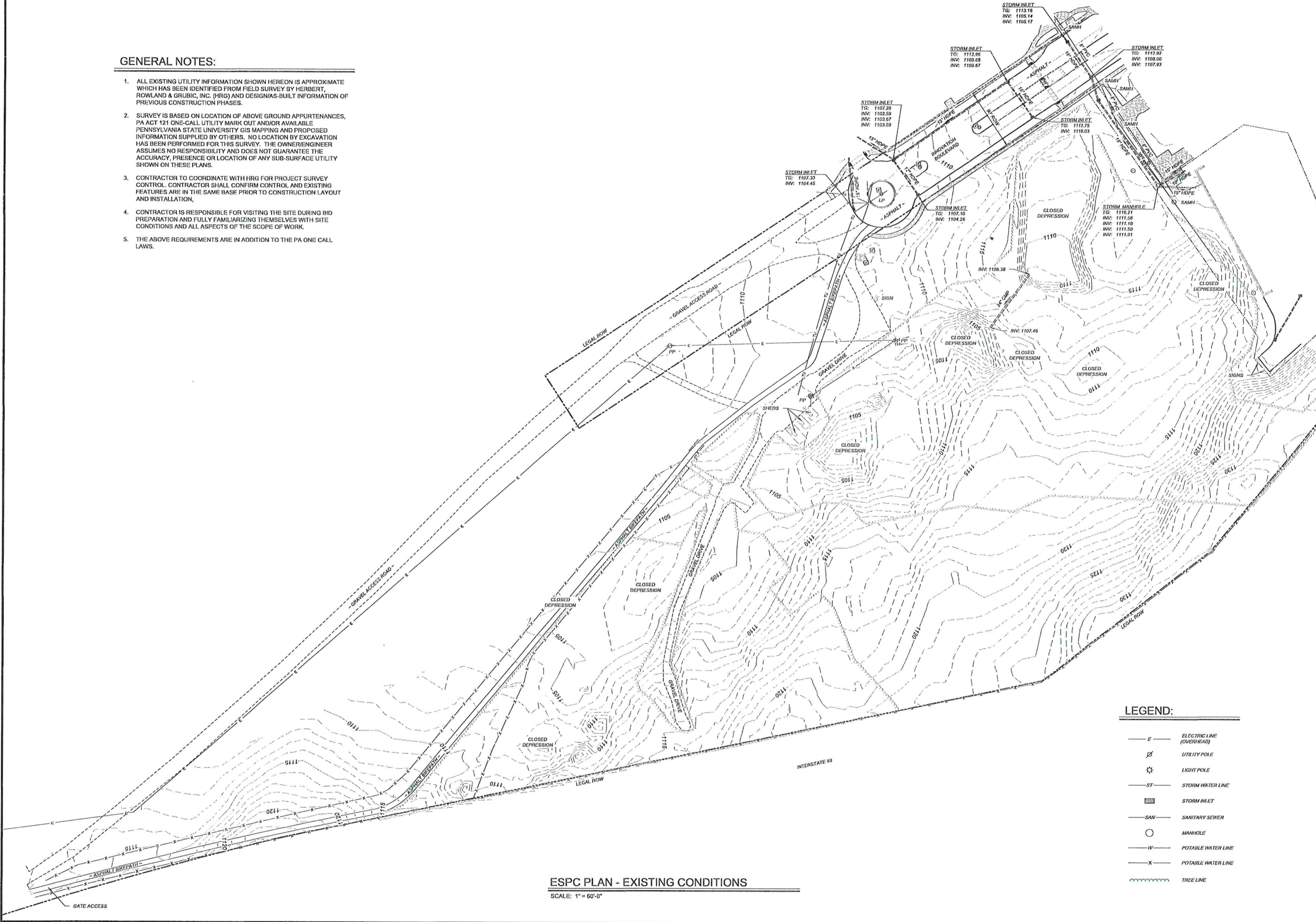
ESPC NOTES

INNOVATION PARK

BUILDING NO. 999-999 PROJECT NO. 00-10144.00 DRAWN BY: JDM/33 CHECKED BY: RAM/551 SHEET: CE001

GENERAL NOTES:

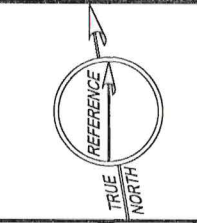
1. ALL EXISTING UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE WHICH HAS BEEN IDENTIFIED FROM FIELD SURVEY BY HERBERT, ROWLAND & GRUBIC, INC. (HRG) AND DESIGN/AS-BUILT INFORMATION OF PREVIOUS CONSTRUCTION PHASES.
2. SURVEY IS BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, PA ACT 121 ONE-CALL UTILITY MARK OUT AND/OR AVAILABLE PENNSYLVANIA STATE UNIVERSITY GIS MAPPING AND PROPOSED INFORMATION SUPPLIED BY OTHERS. NO LOCATION BY EXCAVATION HAS BEEN PERFORMED FOR THIS SURVEY. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY AND DOES NOT GUARANTEE THE ACCURACY, PRESENCE OR LOCATION OF ANY SUB-SURFACE UTILITY SHOWN ON THESE PLANS.
3. CONTRACTOR TO COORDINATE WITH HRG FOR PROJECT SURVEY CONTROL. CONTRACTOR SHALL CONFIRM CONTROL AND EXISTING FEATURES ARE IN THE SAME BASE PRIOR TO CONSTRUCTION LAYOUT AND INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE DURING BID PREPARATION AND FULLY FAMILIARIZING THEMSELVES WITH SITE CONDITIONS AND ALL ASPECTS OF THE SCOPE OF WORK.
5. THE ABOVE REQUIREMENTS ARE IN ADDITION TO THE PA ONE CALL LAWS.



ESPC PLAN - EXISTING CONDITIONS
SCALE: 1" = 60'-0"

LEGEND:

- E— ELECTRIC LINE (OVERHEAD)
- ⊕ UTILITY POLE
- ⊙ LIGHT POLE
- ST— STORM WATER LINE
- ☐ STORM INLET
- SAN— SANITARY SEWER
- MANHOLE
- W— POTABLE WATER LINE
- X— POTABLE WATER LINE
- ~~~~~ TREE LINE



SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION



RELOCATE EXISTING BIKE PATH

ESPC PLAN EXISTING CONDITIONS

INNOVATION PARK

BUILDING NO. 9999-999	SHEET: CE101
PROJECT NO. 05-10144.00	
DRAWN BY: JDM/BJ	
CHECKED BY: RAM/MS	

SEQUENCE OF CONSTRUCTION:

AT LEAST 7 BUSINESS DAYS PRIOR TO STARTING ANY DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER (PSU) REPRESENTATIVE, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, AND A REPRESENTATIVE FROM THE CENTRE COUNTY CONSERVATION DISTRICT (CCCD) TO AN ON-SITE PRE-CONSTRUCTION MEETING.

UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT AT LEAST 3 BUSINESS DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE-CALL SYSTEM, INC., SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE CENTRE COUNTY CONSERVATION DISTRICT OR BY PA-DEP PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

THE FOLLOWING GENERAL ACTIVITIES WILL BE ACCOMPLISHED AS PART OF THE EROSION AND SEDIMENT POLLUTION CONTROL FOR EACH PROJECT AREA:

- A. INSTALLATION OF EROSION AND SEDIMENT CONTROL BMP'S WILL BE IMPLEMENTED BEFORE GENERAL CLEARING AND GRUBBING OF THE SITE. INSTALL THE TEMPORARY PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS AS SHOWN ON THE PLANS.
B. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
C. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S POLLUTION CONTROL PLAN.
D. WHEN POSSIBLE, TOPSOIL SHALL BE PLACED ON THE UPHILL SIDE OF EXCAVATED AREAS. ALL EXCAVATED MATERIAL REMOVED (OR TAKEN TO) THE SITE SHALL BE TAKEN TO (OR FROM) AN AREA/SITE WITH AN APPROVED SOIL EROSION AND SEDIMENT POLLUTION CONTROL PLAN.
E. CESSATION OF CONSTRUCTION ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION OF EXPOSED DISTURBED AREAS.
F. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, REMOVE TEMPORARY E&S BMP'S OR CONVERT THEM TO PERMANENT PCSM BMP'S. IMMEDIATELY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL OR CONVERSION OF THE BMP'S.

PRE-CONSTRUCTION ACTIVITIES:

- 1. FIELD MARK LIMITS OF DISTURBANCE AND ENVIRONMENTALLY SENSITIVE AREAS (IF ANY).
2. INSTALL CONSTRUCTION ACCESS AT EACH END OF THE PROJECT SITE AS SHOWN ON THE PLANS.
- INSTALL (2) ROCK CONSTRUCTION ENTRANCES (RCE) PER DETAIL.
- REMOVE AND STOCKPILE TOPSOIL TO THE APPROVED LOCATION AS SHOWN ON THE PLANS.
3. INSTALL THE COMPOST FILTER SOCKS (CFS) WHERE INDICATED ON THE PLANS. CONTRACTOR SHALL MONITOR CONDITIONS THROUGHOUT CONSTRUCTION AND COORDINATE WITH THE OWNER'S ON-SITE REPRESENTATIVE TO DETERMINE IF/WHERE ADDITIONAL CFS SHALL BE PLACED. CFS SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES SHOWN ON THE CONSTRUCTION DETAILS AND SHALL BE PARALLEL WITH THE CONTOURS OF THE EXISTING GROUND. BOTH ENDS OF THE CFS MUST EXTEND AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN CFS ALIGNMENT. IT IS EXTREMELY IMPORTANT THAT THE OVERALL LENGTH BE CONSTRUCTED AS INDICATED.
4. INSTALL THE INLET FILTER PROTECTION WHERE INDICATED ON THE PLANS FOR EXISTING DRAINAGE STRUCTURES.
5. INSTALL TEMPORARY CHAIN LINK FENCE, GATES AND SIGNAGE AT CONSTRUCTION ENTRANCES. INSTALL TEMPORARY ORANGE FABRIC FENCE AROUND REMAINING PERIMETER OF SITE.

CONSTRUCTION ACTIVITIES:

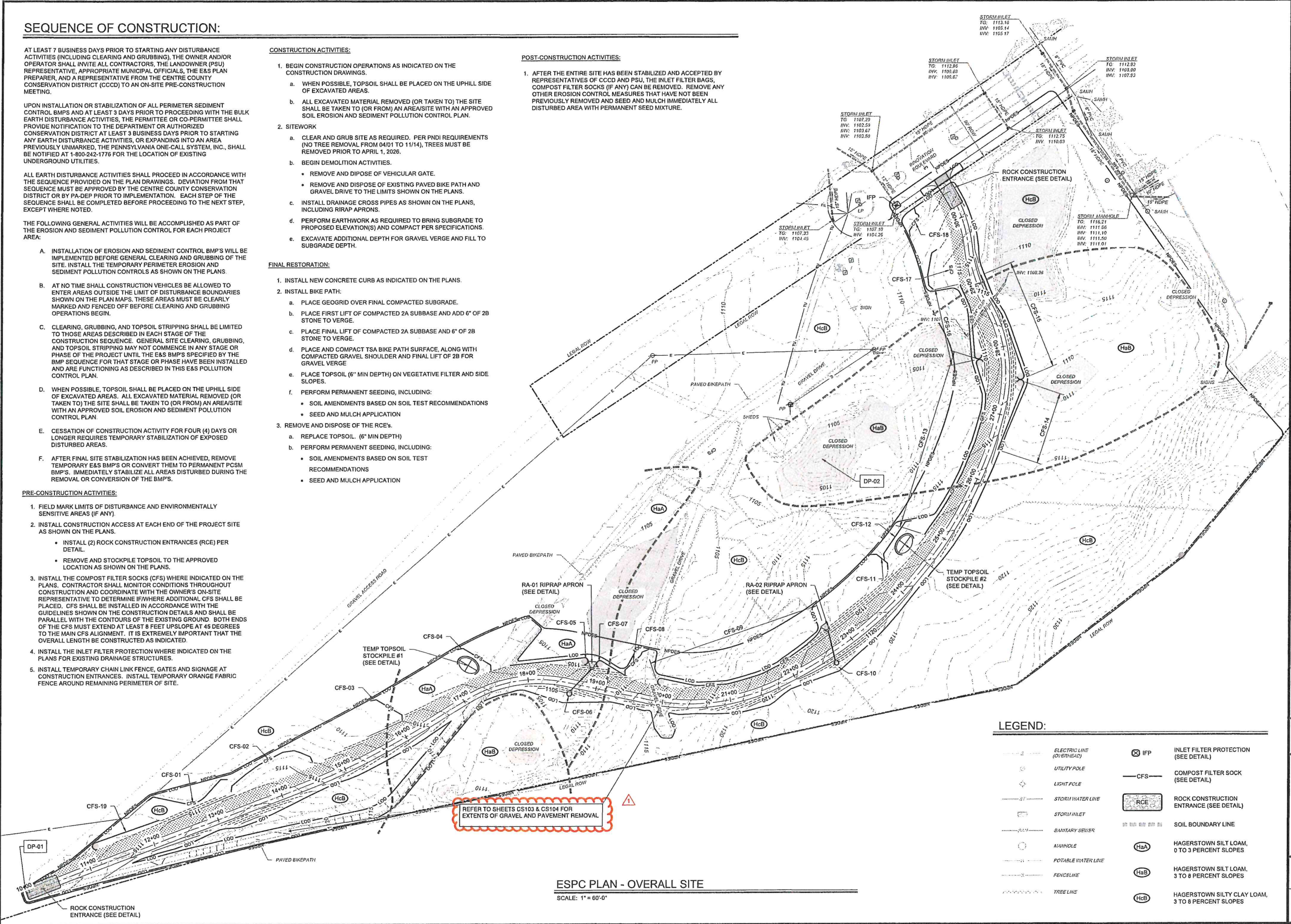
- 1. BEGIN CONSTRUCTION OPERATIONS AS INDICATED ON THE CONSTRUCTION DRAWINGS.
a. WHEN POSSIBLE, TOPSOIL SHALL BE PLACED ON THE UPHILL SIDE OF EXCAVATED AREAS.
b. ALL EXCAVATED MATERIAL REMOVED (OR TAKEN TO) THE SITE SHALL BE TAKEN TO (OR FROM) AN AREA/SITE WITH AN APPROVED SOIL EROSION AND SEDIMENT POLLUTION CONTROL PLAN.
2. SITEMARK
a. CLEAR AND GRUB SITE AS REQUIRED. PER PNDI REQUIREMENTS (NO TREE REMOVAL FROM 04/01 TO 11/14), TREES MUST BE REMOVED PRIOR TO APRIL 1, 2026.
b. BEGIN DEMOLITION ACTIVITIES.
- REMOVE AND DIPOSE OF VEHICULAR GATE.
- REMOVE AND DIPOSE OF EXISTING PAVED BIKE PATH AND GRAVEL DRIVE TO THE LIMITS SHOWN ON THE PLANS.
c. INSTALL DRAINAGE CROSS PIPES AS SHOWN ON THE PLANS, INCLUDING RIPRAP APRONS.
d. PERFORM EARTHWORK AS REQUIRED TO BRING SUBGRADE TO PROPOSED ELEVATION(S) AND COMPACT PER SPECIFICATIONS.
e. EXCAVATE ADDITIONAL DEPTH FOR GRAVEL VERGE AND FILL TO SUBGRADE DEPTH.

FINAL RESTORATION:

- 1. INSTALL NEW CONCRETE CURBS AS INDICATED ON THE PLANS.
2. INSTALL BIKE PATH:
a. PLACE GEOGRID OVER FINAL COMPACTED SUBGRADE.
b. PLACE FIRST LIFT OF COMPACTED 2A SUBBASE AND ADD 6" OF 2B STONE TO VERGE.
c. PLACE FINAL LIFT OF COMPACTED 2A SUBBASE AND 6" OF 2B STONE TO VERGE.
d. PLACE AND COMPACT TSA BIKE PATH SURFACE, ALONG WITH COMPACTED GRAVEL SHOULDER AND FINAL LIFT OF 2B FOR GRAVEL VERGE
e. PLACE TOPSOIL (6" MIN DEPTH) ON VEGETATIVE FILTER AND SIDE SLOPES.
f. PERFORM PERMANENT SEEDING, INCLUDING:
- SOIL AMENDMENTS BASED ON SOIL TEST RECOMMENDATIONS
- SEED AND MULCH APPLICATION
3. REMOVE AND DIPOSE OF THE RCE'S.
a. REPLACE TOPSOIL (6" MIN DEPTH)
b. PERFORM PERMANENT SEEDING, INCLUDING:
- SOIL AMENDMENTS BASED ON SOIL TEST RECOMMENDATIONS
- SEED AND MULCH APPLICATION

POST-CONSTRUCTION ACTIVITIES:

- 1. AFTER THE ENTIRE SITE HAS BEEN STABILIZED AND ACCEPTED BY REPRESENTATIVES OF CCCD AND PSU, THE INLET FILTER BAGS, COMPOST FILTER SOCKS (IF ANY) CAN BE REMOVED. REMOVE ANY OTHER EROSION CONTROL MEASURES THAT HAVE NOT BEEN PREVIOUSLY REMOVED AND SEED AND MULCH IMMEDIATELY ALL DISTURBED AREA WITH PERMANENT SEED MIXTURE.



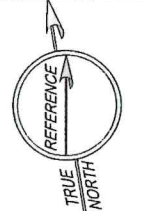
REFER TO SHEETS CS103 & CS104 FOR EXTENTS OF GRAVEL AND PAVEMENT REMOVAL

LEGEND:

- ELECTRIC LINE (OVERHEAD)
UTILITY POLE
LIGHT POLE
STORM WATER LINE
STORM INLET
SANITARY SEWER
MANHOLE
POTABLE WATER LINE
FENCELINE
TREE LINE
INLET FILTER PROTECTION (SEE DETAIL)
CFS - COMPOST FILTER SOCK (SEE DETAIL)
RCE - ROCK CONSTRUCTION ENTRANCE (SEE DETAIL)
SOIL BOUNDARY LINE
HaA - HAGERSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES
HaB - HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
HcB - HAGERSTOWN SILTY CLAY LOAM, 3 TO 8 PERCENT SLOPES

ESPC PLAN - OVERALL SITE

SCALE: 1" = 60'-0"



SUBMISSIONS

Table with columns: DATE, DESCRIPTION. Includes entries for 2025/08/25 COLLEGE TWP SKETCH PLAN, 2025/10/30 PSU TEAM REVIEW - DD (60%), 2025/11/25 PRELIMINARY PRICING SET, 2025/12/19 PSU TEAM REVIEW - CD (80%), 2025/12/22 ISSUED FOR PAG-01 REVIEW, 2026/01/15 ISSUED FOR CT LD REVIEW.

REVISIONS

Table with columns: SYM, DATE, DESCRIPTION. Includes entry for 2026/02/04 RESPONSE TO CT COMMENTS DATED 2026/02/02.

0" 1/2" 1" 2" SHEET SIZE: 24x36

RELOCATE EXISTING BIKE PATH

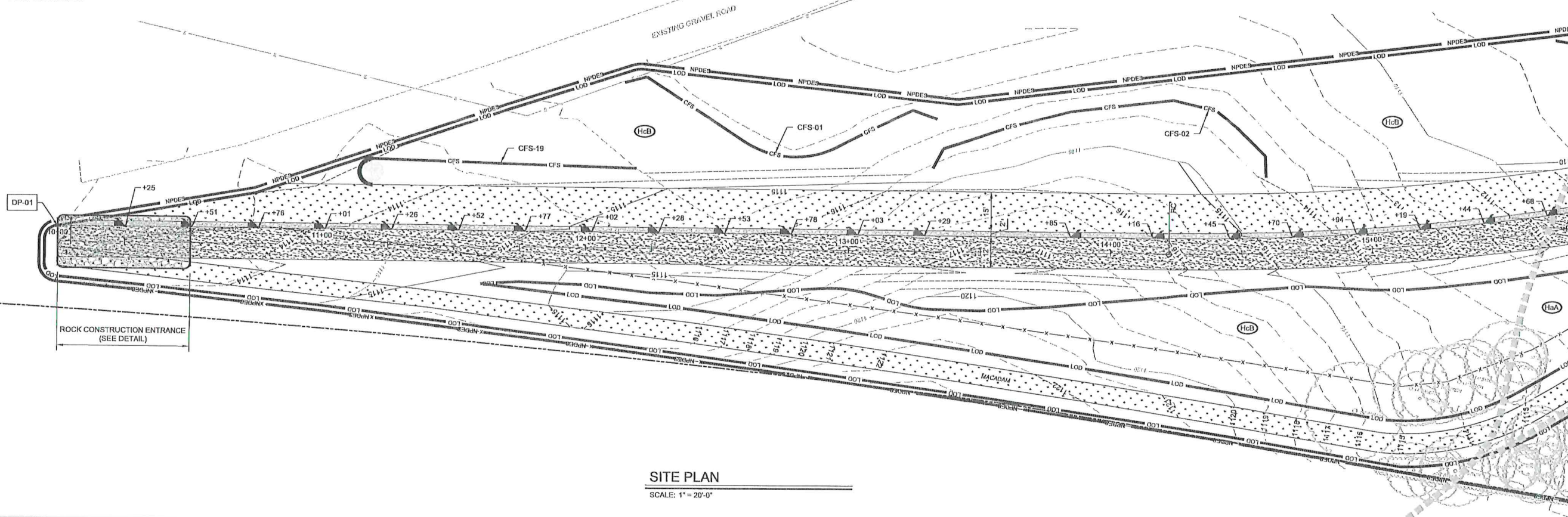
ESPC PLAN OVERALL SITE

INNOVATION PARK

Table with columns: BUILDING NO., PROJECT NO., DRAWN BY, CHECKED BY, SHEET, CE102.

LEGEND:

-  SOIL BOUNDARY LINE
-  HAGERSTOWN SILT LOAM,
0 TO 3 PERCENT SLOPES
-  HAGERSTOWN SILT LOAM,
3 TO 8 PERCENT SLOPES
-  HAGERSTOWN SILTY CLAY LOAM,
3 TO 8 PERCENT SLOPES
-  IFP INLET FILTER PROTECTION
(SEE DETAIL)
-  CFS COMPOST FILTER SOCK
(SEE DETAIL)
-  VERGE CONVEYOR BELT
OUTLET (SEE DETAIL)
-  TSA BIKE PATH (SEE TYP SECTION)
-  VEGETATED SURFACE RESTORATION
-  GRAVEL VERGE (SEE TYP SECTION)



SITE PLAN
SCALE: 1" = 20'-0"

SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
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2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR P&G-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION

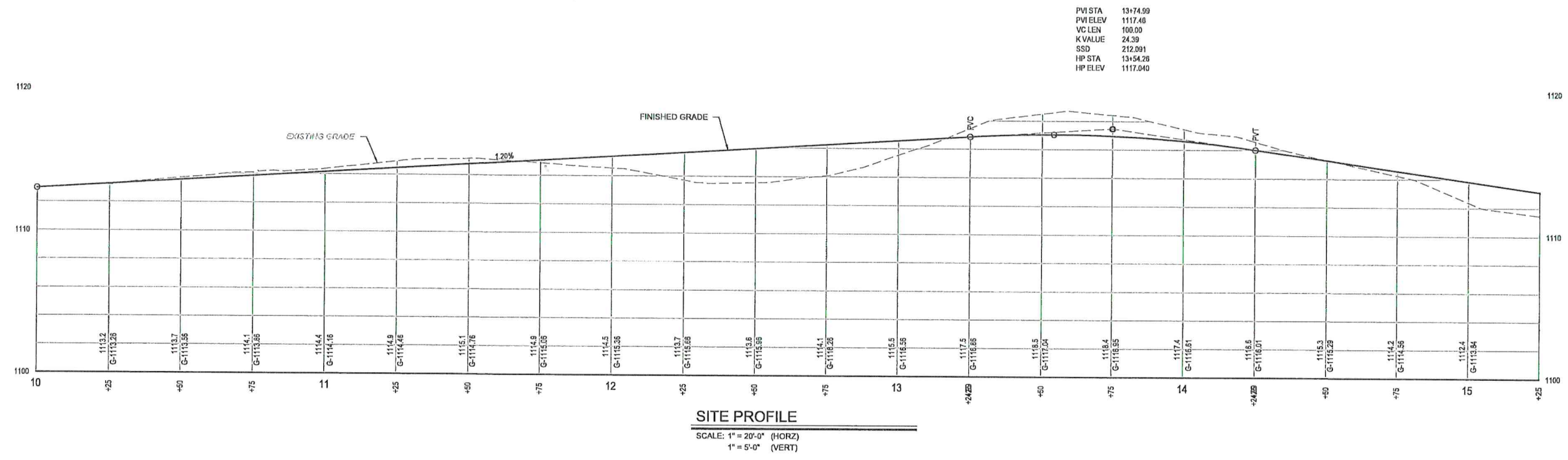
0" 1/2" 1" 2"
SHEET SIZE: 24x36

**RELOCATE EXISTING
BIKE PATH**

**ESPC PARTIAL PLAN
& PROFILE**

INNOVATION PARK

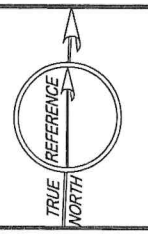
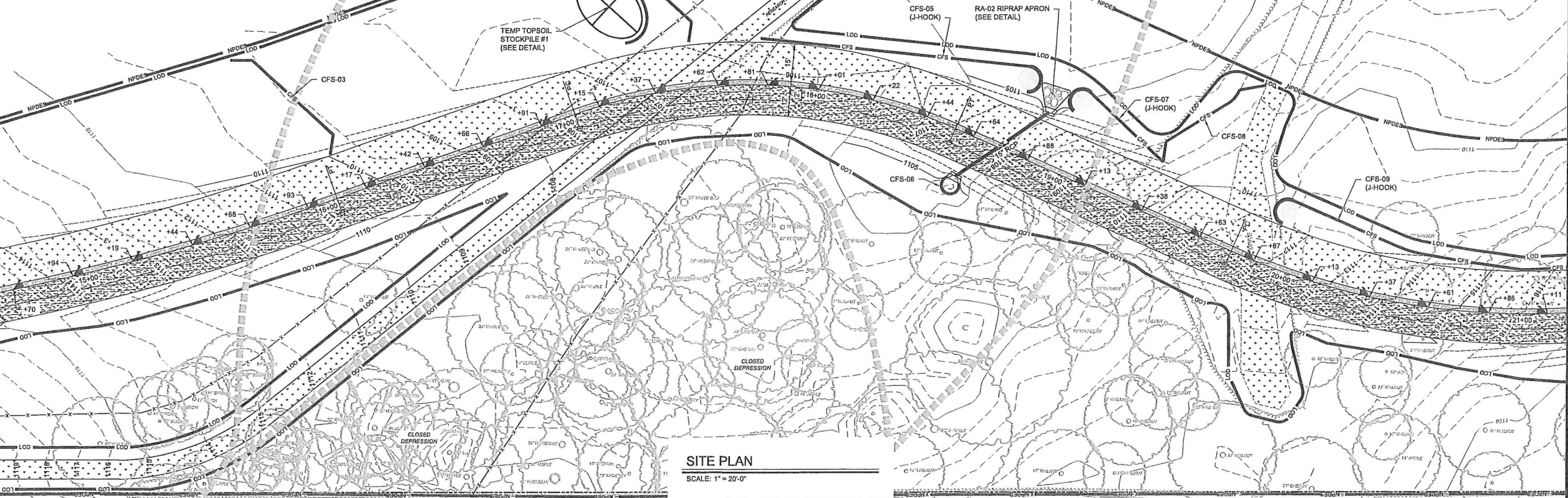
BUILDING NO. 9999-999 SHEET:
PROJECT NO. 00-10144.00
DRAWN BY: JDM33 CE103
CHECKED BY: RAM6961



SITE PROFILE
SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)

LEGEND:

- | | | | | | |
|--|--|--|--|--|---------------------------------|
| | SOIL BOUNDARY LINE | | INLET FILTER PROTECTION
(SEE DETAIL) | | TSA BIKE PATH (SEE TYP SECTION) |
| | HAGERSTOWN SILT LOAM,
0 TO 3 PERCENT SLOPES | | COMPOST FILTER SOCK
(SEE DETAIL) | | VEGETATED SURFACE RESTORATION |
| | HAGERSTOWN SILT LOAM,
3 TO 8 PERCENT SLOPES | | VERGE CONVEYOR BELT
OUTLET (SEE DETAIL) | | GRAVEL VERGE (SEE TYP SECTION) |
| | HAGERSTOWN SILTY CLAY LOAM,
3 TO 8 PERCENT SLOPES | | | | |

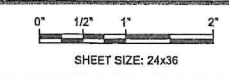


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REVISIONS

SYM	DATE	DESCRIPTION

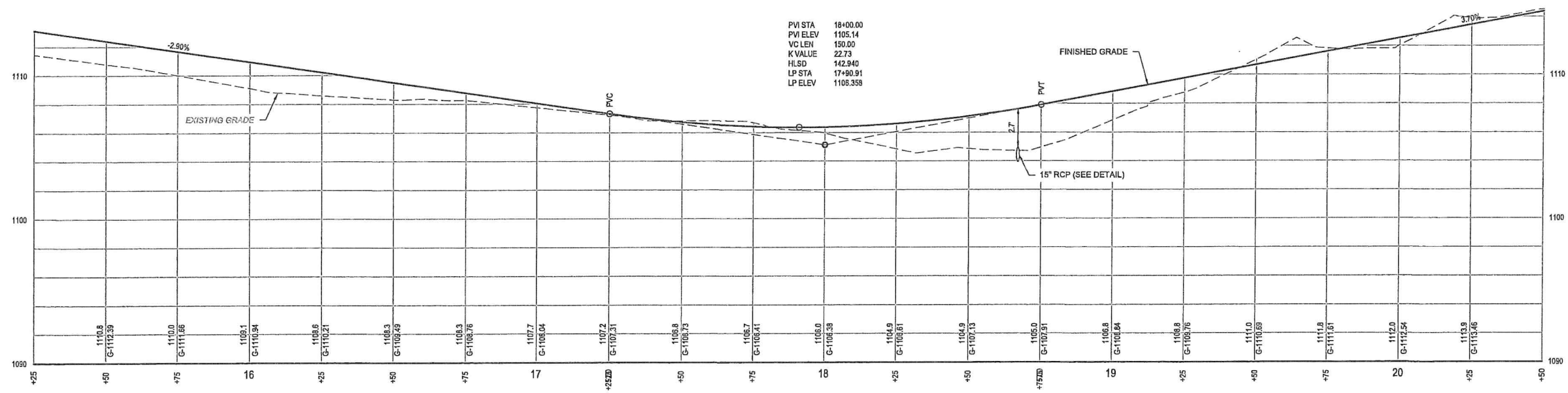


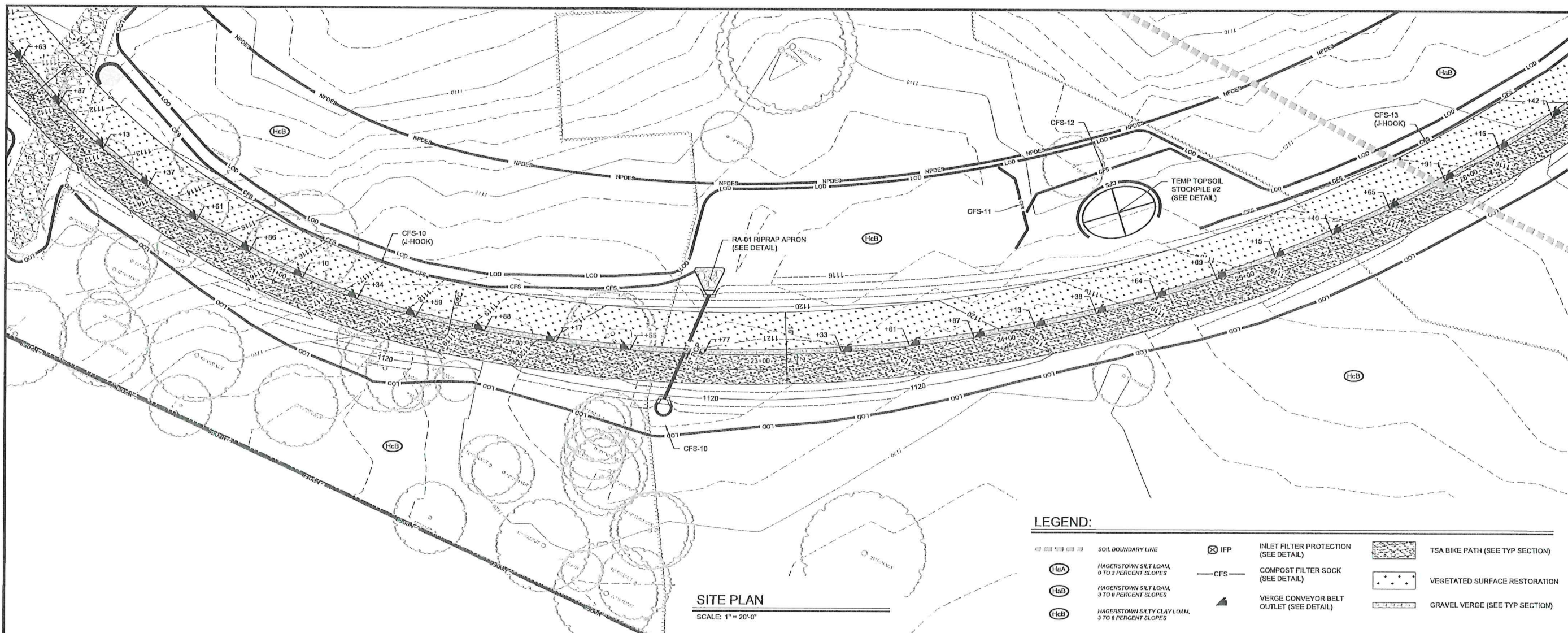
RELOCATE EXISTING
BIKE PATH

ESPC PARTIAL PLAN
& PROFILE

INNOVATION PARK

BUILDING NO. 8999-999	SHEET:
PROJECT NO. 00-10144.00	CE104
DRAWN BY: JDM33	
CHECKED BY: RAM5951	

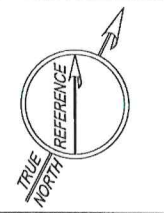




SITE PLAN
SCALE: 1" = 20'-0"

LEGEND:

- SOIL BOUNDARY LINE
- IFP INLET FILTER PROTECTION (SEE DETAIL)
- TSA BIKE PATH (SEE TYP SECTION)
- HAGERSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES
- HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
- HAGERSTOWN SILTY CLAY LOAM, 3 TO 8 PERCENT SLOPES
- CFS COMPOST FILTER SOCK (SEE DETAIL)
- VERGE CONVEYOR BELT OUTLET (SEE DETAIL)
- VEGETATED SURFACE RESTORATION
- GRAVEL VERGE (SEE TYP SECTION)



SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/20	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION

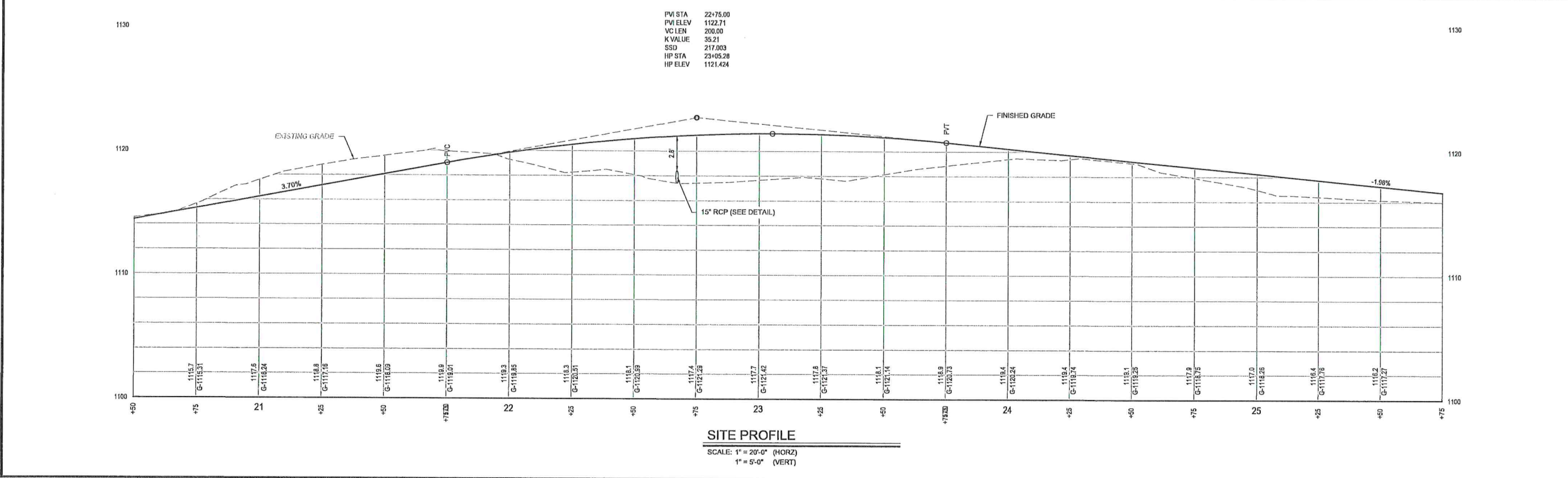


RELOCATE EXISTING BIKE PATH

ESPC PARTIAL PLAN & PROFILE

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CE105
DRAWN BY: JEN33	
CHECKED BY: BAM5951	



SITE PROFILE
SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)

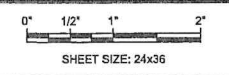


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/15	PSU TEAM REVIEW - CD (80%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION



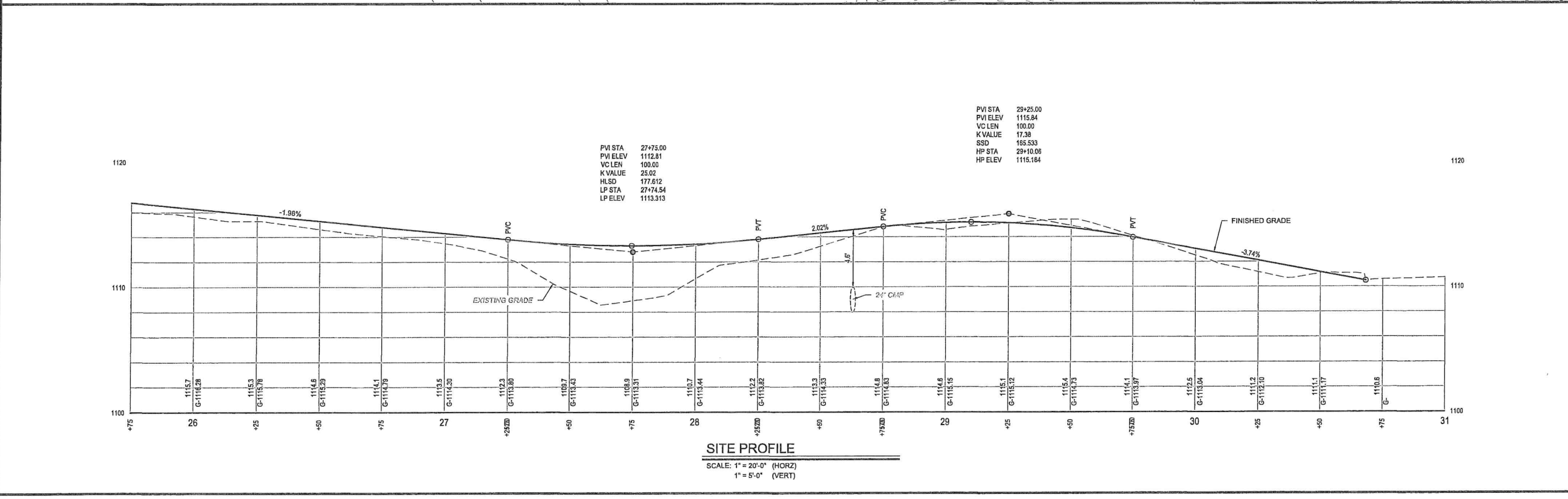
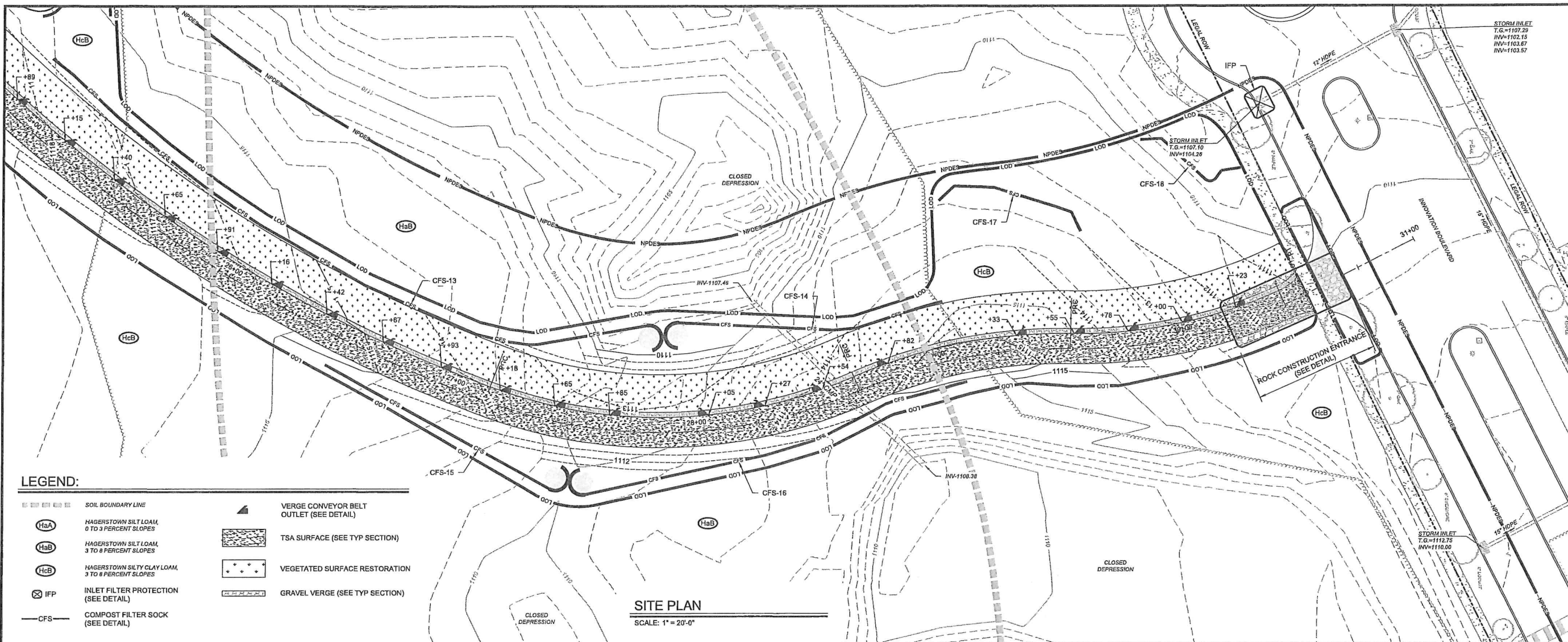
SHEET SIZE: 24x36

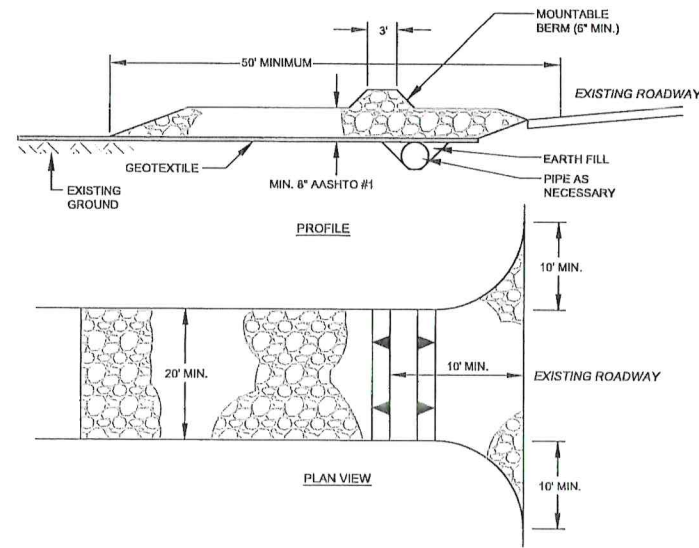
RELOCATE EXISTING BIKE PATH

ESPC PARTIAL PLAN & PROFILE

INNOVATION PARK

BUILDING NO. 9999-999 SHEET: CE106
PROJECT NO. 00-10144.00
DRAWN BY: JDM/33
CHECKED BY: RAM/551





ROCK CONSTRUCTION ENTRANCE (RCE, IF REQUIRED)

SCALE: NONE

SOCK No.	Sta. In.	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
01	12"	STA 12+07 TO 13+43, LEFT	12%	50'
02	12"	STA 13+30 TO 14+65, LEFT	8%	120'
03	12"	STA 15+80 TO 16+12, LEFT	4%	135'
04	12"	STA 17+24 TO 17+56, LEFT	1%	140'
05*	12"	STA 17+78 TO 18+03, LEFT	1%	120'
06	18"	STA 18+58, RIGHT	3%	500'
07*	12"	STA 18+97 TO 19+37, LEFT	7%	45'
08	12"	STA 19+37 TO 19+63, LEFT	7%	40'
09*	12"	STA 19+66 TO 22+76, LEFT	2%	268'
10	12"	STA 22+60, RIGHT	4%	110'
11	12"	STA 24+18, LEFT	2%	110'
12	12"	STA 24+18 TO 25+00, LEFT	4%	160'
13*	12"	STA 25+00 TO 27+05, LEFT	3%	286'
14*	12"	STA 26+50 TO 27+50, RIGHT	3%	300'
15*	12"	STA 27+52 TO 28+11, RIGHT	3%	160'
16*	12"	STA 27+86 TO 28+08, LEFT	5%	110'
17	12"	STA 28+03 TO 28+58, LEFT	3%	40'
18	12"	STA 28+69 TO 30+28, LEFT	6%	88'
10	12"	STA 11+14 TO 12+18, LEFT	6%	88'

* SEE J-HOOK CFS DETAIL FOR ADDITIONAL SIZING INFORMATION

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE FOLLOWING STANDARDS:	
ORGANIC MATTER CONTROL	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	6.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 ds MAXIMUM

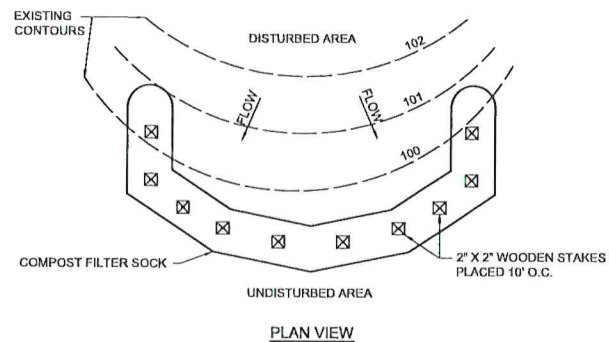
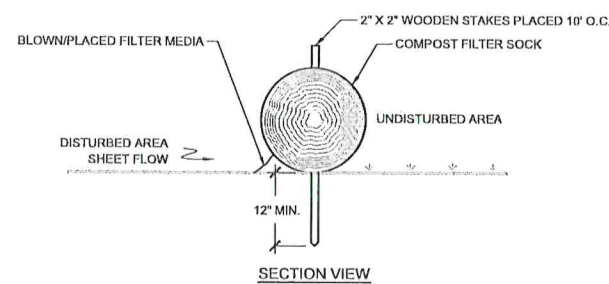
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPF)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		25 PSI	20 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	% AT 1000 HRL	23% AT 1000 HRL		100% AT 1000 HRL	100% AT 1000 HRL
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	8 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES 3/4" X 3/4" MAX. APERTURE SIZE				
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER & NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)				
OUTER FILTRATION MESH	3/16" MAX. APERTURE SIZE				
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.					

COMPOST FILTER SOCK (CFS) DETAIL

SCALE: NONE

NOTES:

- TOPSOIL SHOULD BE REMOVED PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
- EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FEET INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGE WAYS IS NOT ACCEPTABLE.
- ROCK CONSTRUCTION ENTRANCE SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT AND NOTED ON THE UNIVERSITY'S INSPECTION LOG.



NOTES:

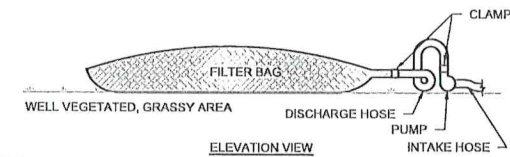
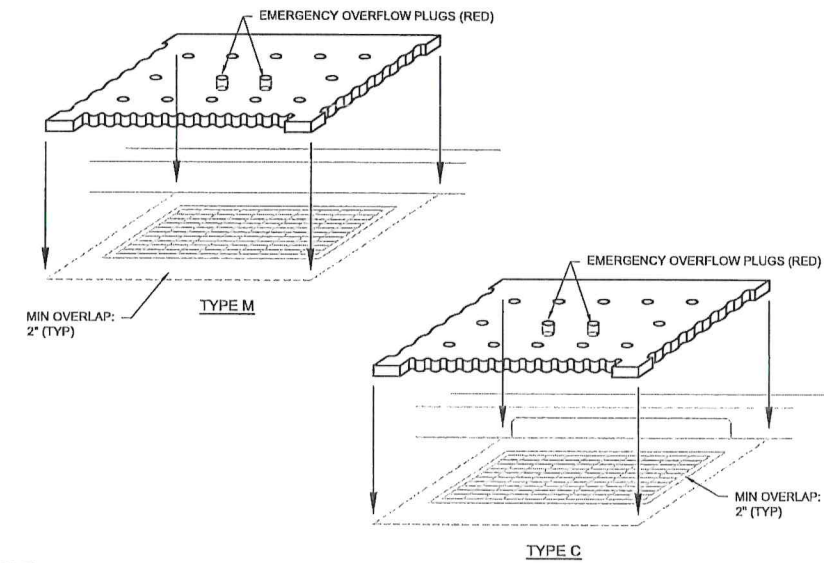
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45° TO THE MAIN SOCK ALIGNMENT (SEE FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

NOTES:

- INLET FILTER MAT DETAIL IS BASED UPON THE BLACKHAWK INLET FILTER SYSTEM, MFG. BY MKB STORMWATER INNOVATION (mkbcompany.com), OR APPROVED EQUAL.
- PRIOR TO INSTALLATION, INLET GRATE SURFACE AND SURROUNDING AREA SHALL BE CLEANED AND CLEARED OF DEBRIS. INLET FILTER MAT SHALL BE INSTALLED WITH A MINIMUM 2" OVERLAP FROM EDGE OF GRATE TO EDGE OF MAT WITH STRAIGHT EDGE FLUSH TO CURB FACE. ADJUST MAT BY HAND UNTIL PLACEMENT ALLOWS FOR OPTIMAL MAGNETIC ADHESION TO GRATE SURFACE.
- PREINSTALLED RED EMERGENCY OVERFLOW PLUGS CAN BE REMOVED IN THE EVENT OF FLOODING TO ALLOW FOR RAPID DEWATERING. AFTER DEWATERING, THE INLET FILTER MAT SHALL BE LIFTED AND THOROUGHLY CLEANED OR REPLACED AND THE EMERGENCY OVERFLOW PLUGS SHALL BE REINSTALLED. IF GRATE IS AT LOWEST POINT OF STREET, REMOVAL OF ONE PLUG WILL ALLOW FOR EXPECTED DEWATERING AT ALL TIMES.
- INLET FILTER MATS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. AS NEEDED, INLET FILTER MATS SHALL BE LIFTED AND RINSED OR REPLACED. WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET OR THE INLET FILTER MAT BECOMES COMPRESSED DUE TO HEAVY TRAFFIC, REPLACEMENT IS REQUIRED.
- A SUPPLY OF SPARE INLET FILTER MATS SHALL BE MAINTAINED ON SITE. ALL NECESSARY REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED MATS ACCORDING TO THE PLAN NOTES.

INLET FILTER PROTECTION (IFP) DETAIL

SCALE: NONE

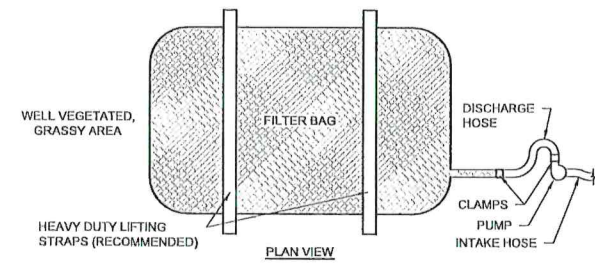


NOTES:

- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. IT IS RECOMMENDED THAT BAGS BE PLACED ON STRAPS TO FACILITATE REMOVAL.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHOULD BE INSTALLED BELOW BAGS LOCATED WITHIN 50 FEET OF RECEIVING STREAM OR WHERE GRASSY AREA IS NOT AVAILABLE, A COMPOST BERM OR COMPOST FILTER SOCK SHALL BE PLACED BELOW ANY BAG DISCHARGING TO A SPECIAL PROTECTION SURFACE WATER.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER, AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG (PWFB) DETAIL

SCALE: NONE



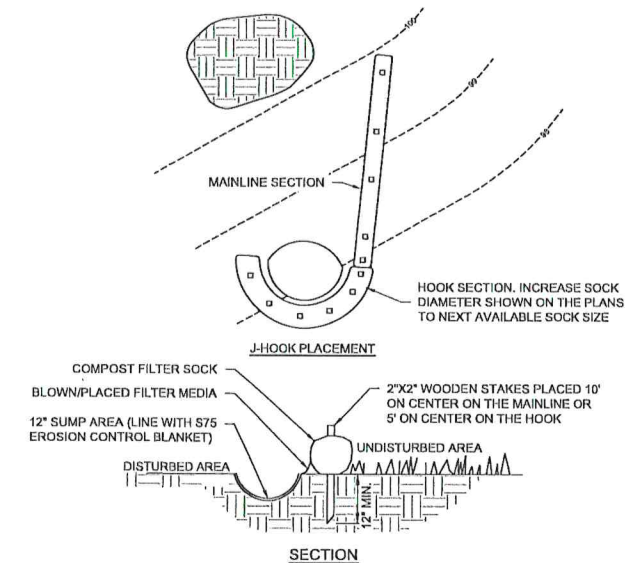
PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4804	60 lb/in
GRAB TENSILE	ASTM D-4632	205 lb
PUNCTURE	ASTM D-4833	110 lb
MULLEN BURST	ASTM D-3766	350 psi
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 Sieves

NOTES:

- A SUMP AREA MAY BE ADDED TO THE STANDARD COMPOST FILTER SOCK PLACEMENT AT THE DISCRETION OF THE CONTRACTOR.
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- A J-HOOK W/ SLUMPED AREA MUST BE INSTALLED WHERE SPACE LIMITATIONS PREVENT THE PLACEMENT OF COMPOST FILTER SOCK AT LEVEL GRADE.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCK SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK WITH J-HOOK & SUMP

SCALE: NONE

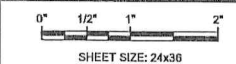


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
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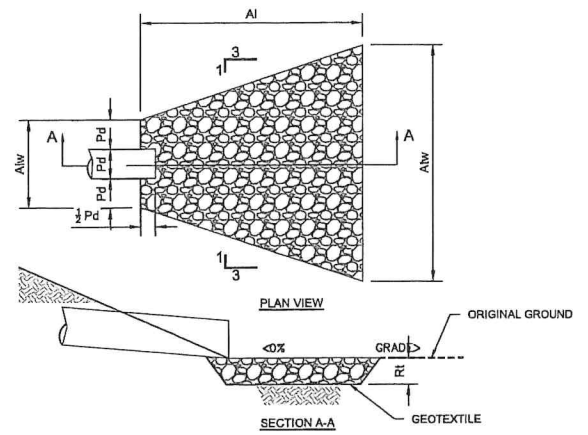


RELOCATE EXISTING BIKE PATH

SITE DETAILS

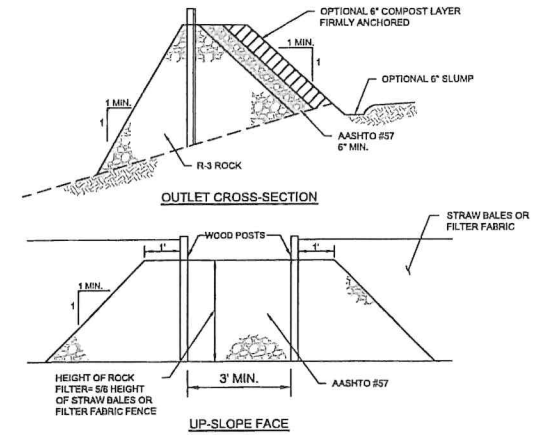
INNOVATION PARK

BUILDING NO. 9999-999	SHEET: CE501
PROJECT NO. 00-10144.00	
DRAWN BY: JDM33	
CHECKED BY: RAM5951	



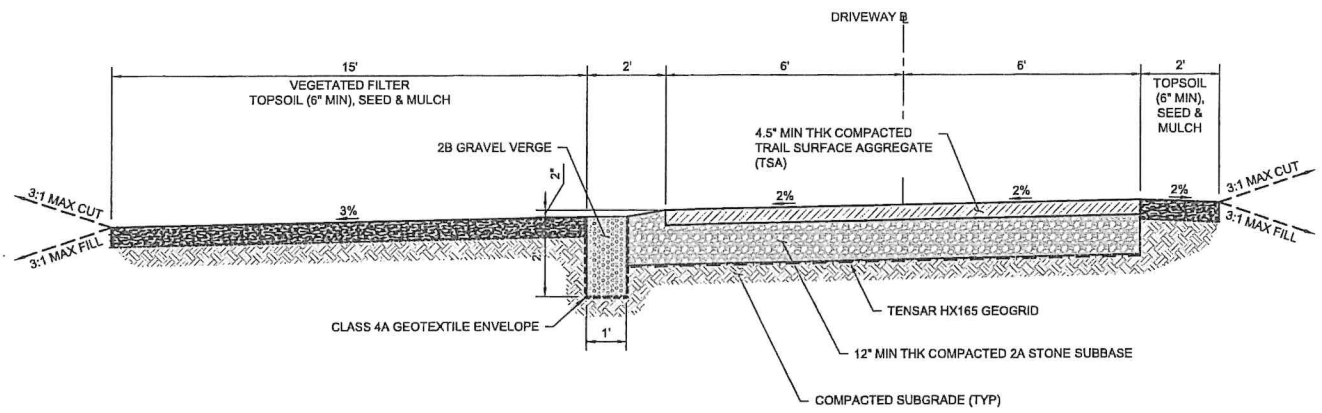
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE (R-)	THICK Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Alw (FT)	TERMINAL WIDTH Atw (FT)
RA-01	15"	R-3	12"	9'	4'	13'
RA-02	15"	R-3	12"	9'	4'	13'

RIPRAP APRON AT PIPE OUTLET DETAIL
SCALE: NONE

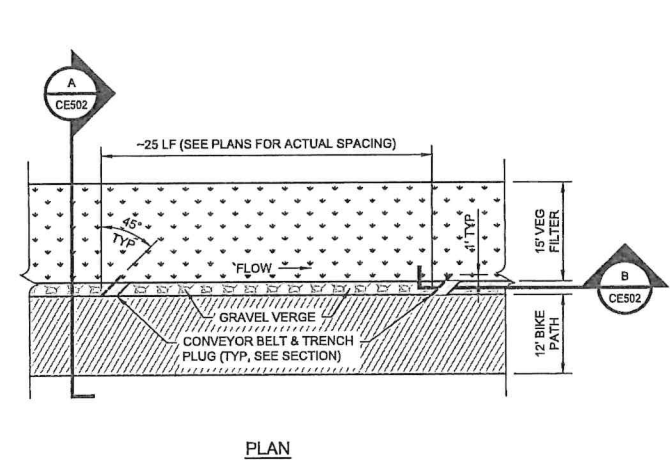


NOTES:
1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A STRAW BALE BARRIER OR FILTER FABRIC FENCE HAS OCCURRED DUE TO CONCENTRATED FLOW.
2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

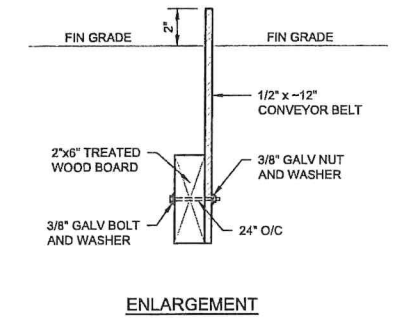
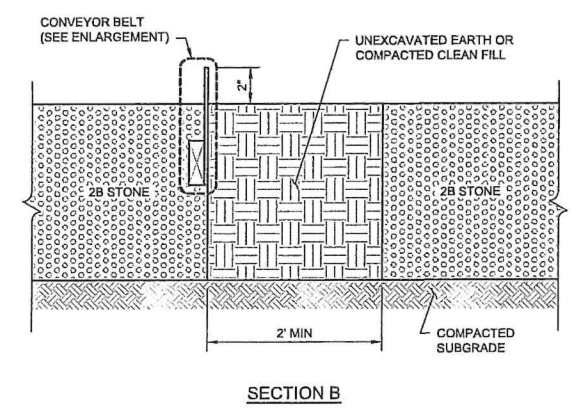
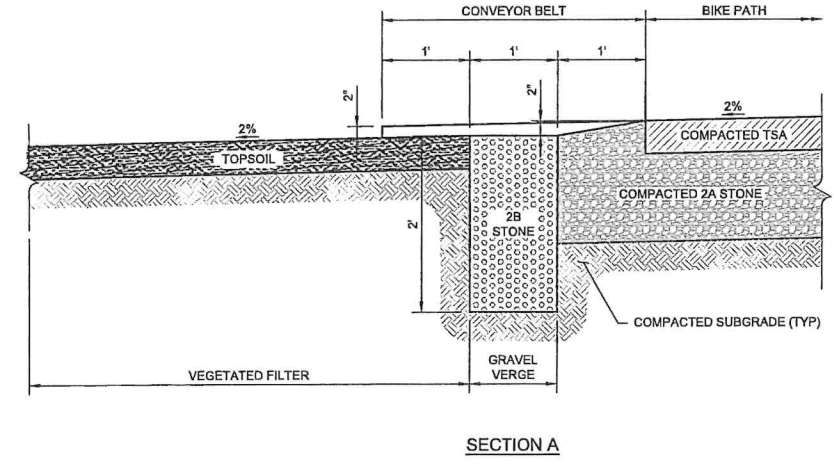
ROCK FILTER OUTLET DETAIL (IF REQUIRED)
SCALE: NONE



TYP BIKE PATH SECTION
SCALE: NONE



VERGE CONVEYOR BELT OUTLET KICK-OUT DETAIL
SCALE: NONE



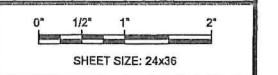
SECTION A **SECTION B** **ENLARGEMENT**

SUBMISSIONS

DATE	DESCRIPTION
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REVISIONS

SYM	DATE	DESCRIPTION
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RELOCATE EXISTING BIKE PATH

SITE DETAILS

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CE502
DRAWN BY: JDM33	
CHECKED BY: RAM5951	

ANALYSIS OF GEOLOGIC FORMATIONS AND SOIL CONDITIONS:

GEOLOGY/FLOODPLAIN:

THE eMapPA WEBSITE IDENTIFIES THE AREA AS BEING LOCATED WITHIN THE STONEHENGE / LARKE FORMATION (DOLOMITE). THIS REGION IS KNOWN FOR SINK HOLES. THE CONTRACTOR SHALL UTILIZE A GEOTECHNICAL ENGINEER TO RESOLVE ANY SINKHOLE ISSUES THAT MAY DEVELOP DURING CONSTRUCTION.

BASED ON THE FEMA WEBSITE, THE PROJECT SITE IS IN AN AREA OF "MINIMAL FLOOD RISK".

SOILS INFORMATION NOTE:

THE SOILS INFORMATION PROVIDED IS GENERAL INFORMATION ONLY TAKEN FROM THE WEB SOIL SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN ENGINEER SHOULD CONDITIONS NOT BE AS LISTED IN THE SOILS REPORT AND OR GEOLOGIC DESCRIPTION.

TABLE E.1
 Limitations of Pennsylvania Soils Pertaining to Earth Disturbance Projects
 (Absence of an X does not necessarily mean "No Potential Limitation")
 NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST

SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL*	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE	HYDRIC / HYDRIC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
Hagerslowm	X	S		X		X	X	X	X	X	X	X	X	X		

This region is known for sinkholes. The contractor shall utilize a geotechnical engineer to resolve any sinkhole issues that may develop during construction.

RESOLUTION TO SOIL LIMITATIONS:

CUTBANKS CAVE: TRENCHING OPERATIONS ARE LIMITED AND SHALLOW. THE CONTRACTOR IS REQUIRED TO BE OSHA 30 HOUR CERTIFIED AND TO MEET OSHA REGULATIONS FOR WORKING IN TRENCHES.

CORROSIVE TO CONCRETE/STEEL: ALL PROPOSED PIPING IS REINFORCED CONCRETE.

DROUGHTY: PSU DESIGN AND CONSTRUCTION STANDARDS REQUIRE THE CONTRACTOR TO MAINTAIN MOISTURE TO NEWLY VEGETATED AREAS UNTIL VEGETATION IS ESTABLISHED.

EASILY ERODIBLE: THE PLAN SEQUENCE REQUIRES THE EXCAVATION TO BE TEMPORARILY STABILIZED AT THE END OF EACH WORKDAY. ADDITIONAL BMP'S WILL BE IMPLEMENTED TO ACCOUNT FOR ANY RUNOFF DURING THE WORKDAY AND/OR UNFORESEEN CIRCUMSTANCES. ONCE CONSTRUCTION ACTIVITIES ARE COMPLETED, THE SITE WILL BE IMMEDIATELY STABILIZED WITH FINAL PAVING AND PERMANENT SEEDING / MULCH.

FLOODING: ACCORDING TO THE FEMA FLOOD MAP SERVICE CENTER WEBSITE, THE PROJECT SITE LIES WITHIN AN AREA OF MINIMAL FLOOD RISK (ZONE X).

DEPTH TO SATURATED ZONE / HIGH WATER TABLE: THIS AREA OF CAMPUS HAS BEEN PREVIOUSLY DEVELOPED WITHOUT ENCOUNTERING HIGH WATER TABLE OR SATURATED SOILS. SHOULD THESE CONDITIONS BE PRESENT DURING CONSTRUCTION, THE CONTRACTOR WILL NOTIFY THE ENGINEER AND GEOTECHNICAL ENGINEER FOR FURTHER MEASURES.

HYDRIC / HYDRIC INCLUSIONS: PER THE NRCS WEBSOIL WEBSITE, THERE ARE NO HYDRIC SOIL RATINGS WITHIN THE PROJECT AREA.

LOW STRENGTH/LANDSLIDE PRONE: ALL EXPOSED EARTH AREAS ALONG THE BIKEWAY CORRIDOR WILL BE IMMEDIATELY STABILIZED WITH VEGETATIVE COVER. MAXIMUM NEW SIDE-SLOPES WILL BE 3:1 MAX.

SLOW PERCOLATION: NO AREAS OF INFILTRATION ARE PLANNED FOR THIS PROJECT.

PIPING: THERE ARE NO PROPOSED CONDITIONS THAT WOULD PROMOTE PIPING.

POOR SOURCE OF TOPSOIL: THE UNIVERSITY REQUIRES SOIL TESTING TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS.

FROST ACTION: CONTRACTOR SHALL NOT CONSTRUCT EMBANKMENTS NOR PLACE FILL DURING TIMES PERIODS PRONE TO FROST.

SHRINK-SWELL: A MATERIALS AND GEOTECHNICAL TESTING FIRM WILL BE HIRED BY THE UNIVERSITY TO MAKE RECOMMENDATIONS SHOULD POOR SOILS BE ENCOUNTERED.

POTENTIAL SINKHOLE: THE eMapPA WEBSITE IDENTIFIES THE AREA AS BEING LOCATED WITHIN THE STONEHENGE / LARKE FORMATION. THIS REGION HAS A POTENTIAL FOR SINKHOLE DEVELOPMENT. THIS RISK HAS BEEN MITIGATED BY KEEPING SURFACE DRAINAGE PATTERNS LARGELY UNALTERED, OVERALL RUNOFF IS REDUCED AND THE DEPTH OF PONDED WATER IS LIMITED. HOWEVER, IF SINKHOLES ARE ENCOUNTERED, THE REPAIR WILL BE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

PONDING: CONTACTOR MUST MAINTAIN POSITIVE GRADE TO PREVENT PONDING.

WETNESS: N/A

RECEIVING WATERS:

BIG HOLLOW HAS A CHAPTER 93 DESIGNATED USE FOR COLD WATER FISHES (CWF) AND LIES DOWNSTREAM APPROXIMATELY 0.4 MILES NORTHWEST.

SEEDING MEASURES:

TEMPORARY SEEDING:

ROUGH GRADED AREAS AND TOPSOIL PILES THAT WILL NOT BE FINAL GRADED AND PERMANENTLY SEEDED WILL BE SEEDED IMMEDIATELY AFTER EXPOSURE WITH TEMPORARILY SEEDED USING THE FOLLOWING SCHEDULE:

- AG. GRADE LIME 50 LBS. PER 1,000 SQ. FEET
- FERTILIZER 10-10-10 11-12 LBS. PER 1,000 SQ. FEET
- ANNUAL RYE GRASS (88.2% LIVE SEED) 1 LB. PER 1,000 SQ. FEET
- WOOD CELLULOSE FIBER MULCH 130 LBS. PER 1000 SQ. FEET

THIS SEEDING WILL PROVIDE TEMPORARY SURFACE PROTECTION FOR THE SOIL SO AS TO REDUCE THE AMOUNT AND RATE OF SURFACE WATER RUNOFF AND THEREBY REDUCE THE YIELD OF SEDIMENT MATERIAL. ANY SOIL TRACKED OFF-SITE AND DEPOSITED ONTO ROADWAYS SHALL BE CLEANED AT THE END OF EACH CONSTRUCTION DAY.

PERMANENT SEEDING:

PERMANENT CONTROL MEASURES TO MINIMIZE EROSION AND SEDIMENTATION SHALL BE THROUGH THE STABILIZATION OF SOIL AS SOON AS POSSIBLE WITH PERENNIAL VEGETATION IN NON-ROADWAY AREAS. PERMANENT SEEDING WILL BE WITH A SCHEDULE AND PROCEDURE AS FOLLOWS:

1. ROUGH GRADE AND REMOVE ALL DEBRIS, LARGE STONES, AND CONSTRUCTION MATERIALS.
 2. APPLY AGRICULTURAL GRADE LIME AT A MINIMUM OF 50 LBS. PER 1000 SQ. FT..
 3. APPLY BASIC FERTILIZER 10-20-20 AT MINIMUM OF 25 LBS. PER 1000 SQ. FT.
 4. TILL ALL ABOVE MATERIALS THOROUGHLY INTO A 4" TO 6" SOIL DEPTH.
 5. FINISH GRADE FOR SEEDING.
 6. APPLY STARTER FERTILIZER 10-10-10 AT A MINIMUM OF 20 LBS. PER 1000 SQ. FT. WORK LIGHTLY INTO SOIL SURFACE.
 7. APPLY SEED AT AN APPLICATION RATE OF 10 LBS. PER 1000 SQ. FT. COMPOSITION OF SEED BLEND SHALL BE A MINIMUM OF 3 DIFFERENT TURF TYPE TALL FESCUE VARIETIES, WITH A BLENDED RATIO OF 20% TO 40% OF EACH VARIETY FOR A TOTAL OF 100%. VARIETIES SHALL REPRESENT THE TOP 1/3 OF PERFORMERS IN THE MOST RECENT FINAL OR CURRENT YEAR NATIONAL TURFGRASS EVALUATION PROGRAM (WWW.NTEP.ORG) FOR THE NORTHEAST, USA. PERCENT OF LIVE SEED (PLS) MUST BE 89% MINIMUM.
 8. TIME OF SEEDING:
 - a. SPRING (APRIL 01 - JUNE 30)*
 - b. FALL (SEPTEMBER 01 - OCTOBER 15)*
 9. RAKE OR DRAG TO COVER SEED LIGHTLY.
 10. ROLL LIGHTLY TO PLACE SEED IN CONTACT WITH THE SOIL.
 11. APPLY WOOD CELLULOSE FIBER MULCH AT AN APPLICATION RATE OF 1,500 LBS. PER ACRE
 12. MULCH TO BE ANCHORED ACCORDING TO THE CURRENT PENN STATE UNIVERSITY AGRONOMY GUIDE.
- * NO SEEDING OR SODDING IS TO BE DONE WHEN THE GROUND IS FROZEN OR DURING DAYS OF EXTREME HEAT (>85 DEGREES), IF WORK MUST BE PERFORMED OUTSIDE OF THESE PARAMETERS THE UNIVERSITY REPRESENTATIVE MUST BE CONTACTED. IF PERMANENT SEEDING IS NOT PRACTICAL DUE TO CONDITIONS, THE DISTURBED AREA SHALL BE SEEDED PER TEMPORARY SEEDING STANDARDS ABOVE.

STORMWATER BMP OWNERSHIP, OPERATION AND MAINTENANCE PROCEDURES

1.0 GENERAL MAINTENANCE:

- A. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PENNSYLVANIA STATE UNIVERSITY, THEIR SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN.
- B. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO COLLEGE TOWNSHIP AS WELL AS THE NPDES PERMIT CONDITIONS SPECIFIED BY PA-DEP. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF THE DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE TOWNSHIP AND CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS.

THERMAL IMPACTS:

THERMAL IMPACTS OF THIS SITE DEVELOPMENT ARE MITIGATED BY MANAGING THE CHANGE IN VOLUME USING DEP APPROVED PAG-01 CONTROLS.

POST CONSTRUCTION STORMWATER MANAGEMENT STANDARD NOTES

PCSM REQUIREMENTS

A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT. THE CRITICAL STAGES ARE LISTED ON THIS SHEET.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S LOCATED ON THE PROPERTY.

PERMIT TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY AND INSTALLATION OF BMP'S IN ACCORDANCE WITH AN APPROVED PLAN, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:

1. THE FACILITY NAME, ADDRESS AND LOCATION
2. THE OPERATOR NAME AND ADDRESS
3. THE NPDES PERMIT NUMBER
4. THE REASON OF PERMIT TERMINATION
5. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S.
6. FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. §4004 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."
- 6.1. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- 6.2. THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S.

MAINTENANCE AGREEMENT AND INSPECTIONS:

"THE OWNER HEREBY ACKNOWLEDGES THE TOWNSHIP'S RIGHT TO ACCESS THE STORMWATER EASEMENTS TO INSPECT THE STORMWATER MANAGEMENT FACILITIES. THE OWNER ALSO ACKNOWLEDGES THE TOWNSHIP'S RIGHT, UPON NOTICE TO THE OWNER, TO REPAIR AND OR MAINTAIN THE STORMWATER FACILITIES IN ACCORDANCE WITH THE STORMWATER ACCESS AND MAINTENANCE PLAN. ALL COSTS, INCLUDING MATERIALS, LABOR, ENGINEERING, AND LEGAL COSTS OF SUCH REPAIR OR MAINTENANCE ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER."

MAINTENANCE INSPECTIONS MAY BE PERFORMED BY THE TOWNSHIP TO ENSURE PROPER FUNCTIONING OF ALL STORMWATER FACILITIES. THESE INSPECTIONS MAY, AT A MINIMUM, BE PERFORMED ANNUALLY AND/OR FOLLOWING MAJOR STORM EVENTS. IF THE TOWNSHIP DETERMINES AT ANY TIME THAT ANY PERMANENT STORMWATER FACILITY HAS BEEN ELIMINATED, ALTERED, OR IMPROPERLY MAINTAINED, THE OWNER OF THE PROPERTY SHALL BE ADVISED OF CORRECTIVE MEASURES REQUIRED AND GIVEN THREE DAYS TO INITIATE APPROPRIATE ACTION IN ACCORDANCE WITH A TIME SCHEDULE DICTATED BY THE TOWNSHIP. IF SUCH ACTION IS NOT TAKEN BY THE PROPERTY OWNER, THE TOWNSHIP MAY CAUSE THE WORK TO BE DONE AND BACKCHARGE ALL COSTS TO THE PROPERTY OWNERS.

THE OWNER SHALL INSPECT THE PATH IN THE VICINITY OF STATION 27+25 ON A QUARTERLY BASIS THROUGH 2028 AND ANNUALLY THEREAFTER FOR SIGNS OF SUBSIDENCE AND ENGAGE A GEOTECHNICAL ENGINEER FOR ASSESSMENT AND REPAIR RECOMMENDATIONS IF REQUIRED.

SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (80%)
2025/1/2/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
△	2026/02/04	RESPONSE TO CT COMMENTS DATED 2026/02/02



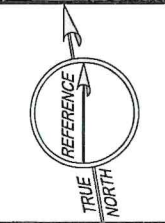
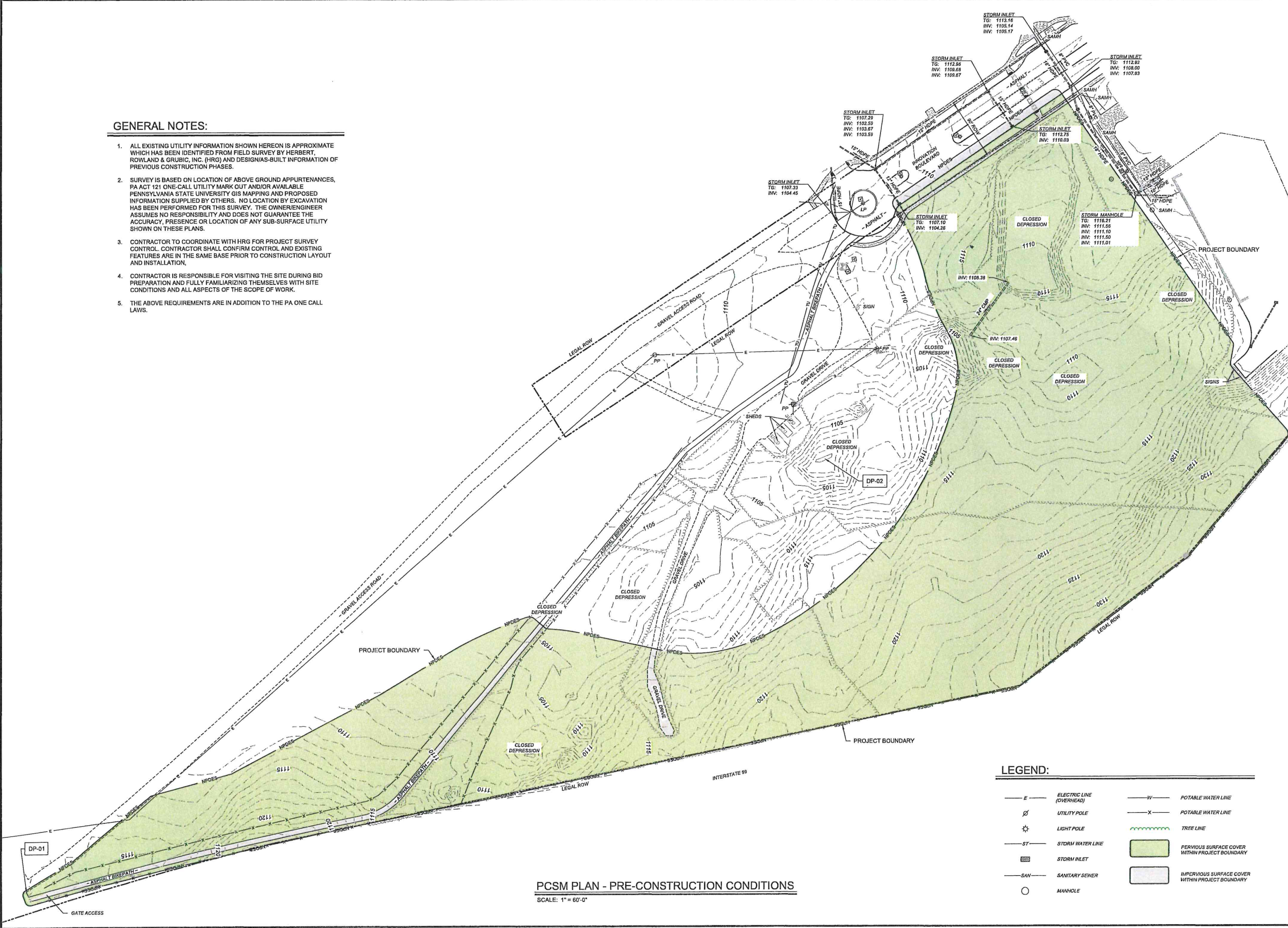
RELOCATE EXISTING BIKE PATH

PCSM NOTES

INNOVATION PARK

GENERAL NOTES:

1. ALL EXISTING UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE WHICH HAS BEEN IDENTIFIED FROM FIELD SURVEY BY HERBERT, ROWLAND & GRUBIC, INC. (HRG) AND DESIGN/AS-BUILT INFORMATION OF PREVIOUS CONSTRUCTION PHASES.
2. SURVEY IS BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, PA ACT 121 ONE-CALL UTILITY MARK OUT AND/OR AVAILABLE PENNSYLVANIA STATE UNIVERSITY GIS MAPPING AND PROPOSED INFORMATION SUPPLIED BY OTHERS. NO LOCATION BY EXCAVATION HAS BEEN PERFORMED FOR THIS SURVEY. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY AND DOES NOT GUARANTEE THE ACCURACY, PRESENCE OR LOCATION OF ANY SUB-SURFACE UTILITY SHOWN ON THESE PLANS.
3. CONTRACTOR TO COORDINATE WITH HRG FOR PROJECT SURVEY CONTROL. CONTRACTOR SHALL CONFIRM CONTROL AND EXISTING FEATURES ARE IN THE SAME BASE PRIOR TO CONSTRUCTION LAYOUT AND INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE DURING BID PREPARATION AND FULLY FAMILIARIZING THEMSELVES WITH SITE CONDITIONS AND ALL ASPECTS OF THE SCOPE OF WORK.
5. THE ABOVE REQUIREMENTS ARE IN ADDITION TO THE PA ONE CALL LAWS.

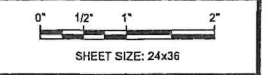


SUBMISSIONS

DATE:	DESCRIPTION:
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION



RELOCATE EXISTING BIKE PATH

**PCSM PLAN
PRE-CONSTRUCTION
CONDITIONS**

INNOVATION PARK

LEGEND:

—E—	ELECTRIC LINE (OVERHEAD)	—W—	POTABLE WATER LINE
⊕	UTILITY POLE	—X—	POTABLE WATER LINE
⊙	LIGHT POLE	—T—	TREE LINE
—ST—	STORM WATER LINE	■	PERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
⊠	STORM INLET	■	IMPERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
—SAN—	SANITARY SEWER	○	MANHOLE

PCSM PLAN - PRE-CONSTRUCTION CONDITIONS

SCALE: 1" = 60'-0"

AREA ID	IMPERVIOUS AREA (SF)	STANDARD	PRE-VEGETATED FILTER STRIP	VEGETATED FILTER STRIP				POST-VEGETATED FILTER STRIP
				LENGTH (FT)	WIDTH (FT)	SLOPE (%)	SOILS	
7	303	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	16.2	23.5	3.2%	B	500 FT OF PERVIOUS AREA @ 1.0% SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF
24	295	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	20.9	17.5	4.2%	B	500 FT OF PERVIOUS AREA @ 3.2% SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF
41	301	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	24.6	13.7	4.2%	B	_____ FT OF PERVIOUS AREA @ _____ % SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF
62	305	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	17.9	20.8	3.6%	B	_____ FT OF PERVIOUS AREA @ _____ % SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF
74	298	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	16.2	22.2	3.7%	B	_____ FT OF PERVIOUS AREA @ _____ % SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF
81	278	CF SF	LEVEL SPREADER DRY WELL 12-in GRAVEL VERGE	24.0	12.5	5.3%	B	_____ FT OF PERVIOUS AREA @ _____ % SLOPE BERM WITH HEIGHT OF _____ INCHES RAIN GARDEN WITH AREA OF _____ SF

* RUNOFF IN THESE AREAS REMAINS ON-SITE WITH NO DISCHARGE OFF SITE.

REFER TO THE PARTIAL PLAN & PROFILE SHEETS FOR THE INFORMATION SHOWN IN THE TABLE.

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN NOTES:

THIS PROJECT IS FOR THE CONSTRUCTION OF A 12' WIDE TRAIL SURFACE (TSA) BIKE PATH TO CONNECT FARM SERVICES ROAD TO INNOVATION BLVD IN COLLEGE TOWNSHIP CENTRE COUNTY. THIS BIKE PATH IS THE ONLY IMPERVIOUS SURFACE PROPOSED BY THIS PLAN. A ONE-FOOT GRAVEL BACKUP WITH A 2" DROP TO THE REQUIRE VERGE IS ALSO INCLUDED IN THE IMPERVIOUS AREA COMPUTATION TO PROVIDE THE REQUIRED 2" DROP.

THIS POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAS BEEN DEVELOPED UTILIZING PAG-01 DESIGN PARAMETERS AS OUTLINED IN THE NOTICE OF INTENT 3800-PM-02WD04a Rev. 3/2025.

PER THE NOI, THIS PROJECT IS SUBMITTED UNDER THE SHEET FLOW STANDARD AS APPLIES TO ALL ROADWAYS AND OTHER SURFACES THAT RESULT IN SHEET FLOW. THE IMPLEMENTATION OF THESE STANDARDS IS TO SATISFY THE REQUIREMENTS OF 25 PA CODE § 102.80(a) TO MANAGE THE NET CHANGE IN STORMWATER VOLUME AND WATER QUALITY UP TO AND INCLUDING THE 2-YEAR/24-HOUR STORM EVENT AND MANAGE THE NET CHANGE IN PEAK FLOW RATES FOR THE 2-YEAR, 10-YEAR, 50-YEAR, AND 100-YEAR/24-HOUR STORMS.

SHEET FLOW STANDARD
MAXIMUM AREA FOR THE SHEET FLOW STANDARD IS 1,000 (SF) AND ROADWAY WIDTH IS 20'. MAXIMUM AREAS AS SHOWN ON THIS PLAN ARE LESS THAN 500 SF AND AVERAGE AROUND 300 SF. THE PROPOSED BIKE PATH IS 12' WITH A ONE FOOT GRAVEL BACK UP FOR STABILITY AND TO PROVIDE THE 2 INCH DROP TO THE VERGE.

A VEGETATED FILTER STRIP MUST TREAT ALL IMPERVIOUS SURFACES AND A MINIMUM 15' FILTER STRIP IS SHOWN ON THE NORTH SIDE AND PARALLEL TO THE ROADWAY ALONG ITS ENTIRE EDGE AS REQUIRED.

THE PRE FILTER STRIP VERGE WITH A 2" DROP FROM THE EDGE OF THE TSA IS INCLUDED AS REQUIRED.

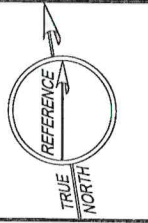
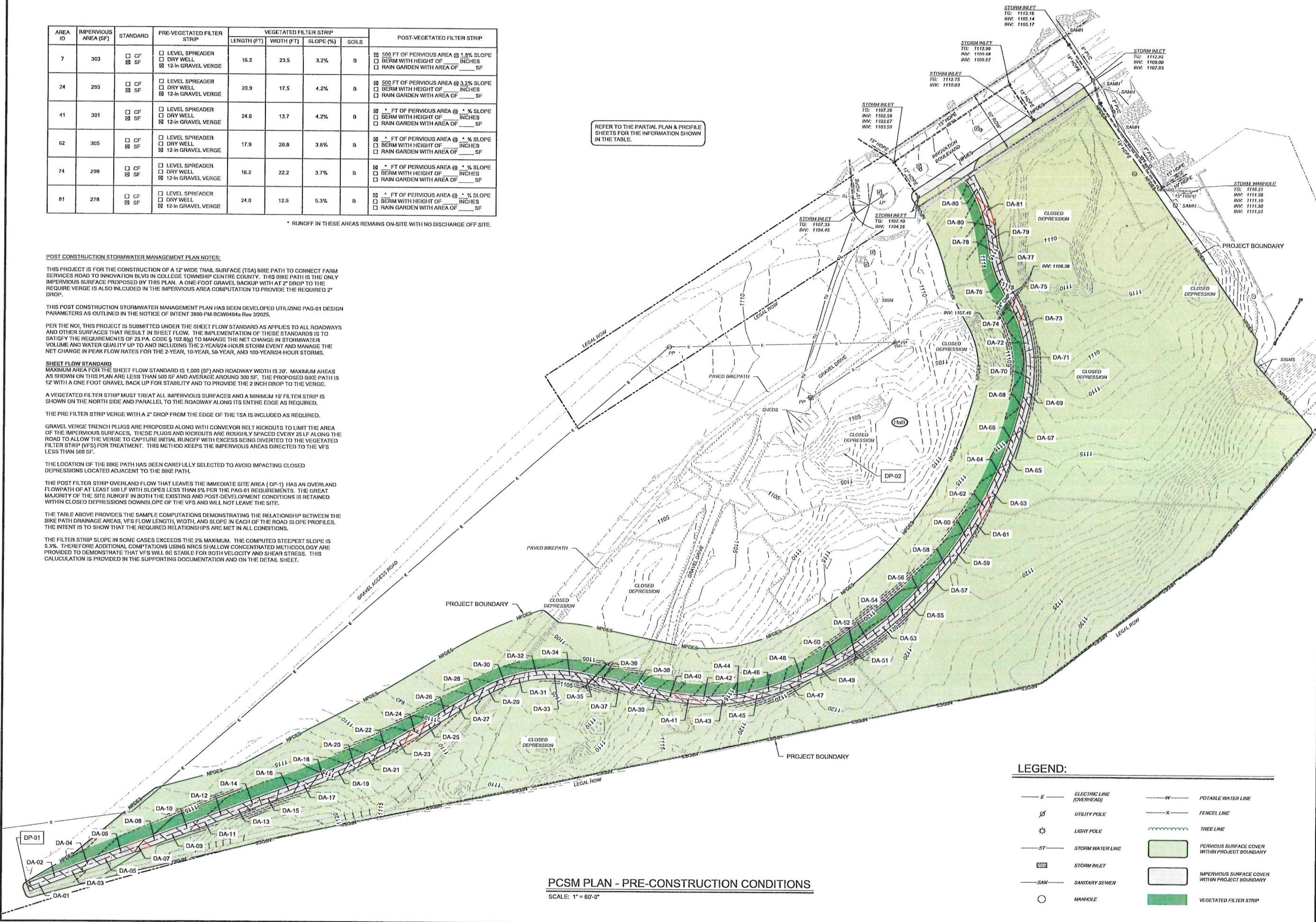
GRAVEL VERGE TRENCH PLUGS ARE PROPOSED ALONG WITH CONVEYOR BELT KICKOUTS TO LIMIT THE AREA OF THE IMPERVIOUS SURFACES. THESE PLUGS AND KICKOUTS ARE ROUGHLY SPACED EVERY 25' ALONG THE ROAD TO ALLOW THE VERGE TO CAPTURE INITIAL RUNOFF WITH EXCESS BEING DIVERTED TO THE VEGETATED FILTER STRIP (VFS) FOR TREATMENT. THIS METHOD KEEPS THE IMPERVIOUS AREAS DIRECTED TO THE VFS LESS THAN 500 SF.

THE LOCATION OF THE BIKE PATH HAS BEEN CAREFULLY SELECTED TO AVOID IMPACTING CLOSED DEPRESSIONS LOCATED ADJACENT TO THE BIKE PATH.

THE POST FILTER STRIP OVERLAND FLOW THAT LEAVES THE IMMEDIATE SITE AREA (DP-1) HAS AN OVERLAND FLOWPATH OF AT LEAST 500 LF WITH SLOPES LESS THAN 5% PER THE PAG-01 REQUIREMENTS. THE GREAT MAJORITY OF THE SITE RUNOFF IN BOTH THE EXISTING AND POST-DEVELOPMENT CONDITIONS IS RETAINED WITHIN CLOSED DEPRESSIONS DOWNSLOPE OF THE VFS AND WILL NOT LEAVE THE SITE.

THE TABLE ABOVE PROVIDES THE SAMPLE COMPUTATIONS DEMONSTRATING THE RELATIONSHIP BETWEEN THE BIKE PATH DRAINAGE AREAS, VFS FLOW LENGTH, WIDTH, AND SLOPE IN EACH OF THE ROAD SLOPE PROFILES. THE INTENT IS TO SHOW THAT THE REQUIRED RELATIONSHIPS ARE MET IN ALL CONDITIONS.

THE FILTER STRIP SLOPE IN SOME CASES EXCEEDS THE 2% MAXIMUM. THE COMPUTED STEEPEST SLOPE IS 5.3%. THEREFORE ADDITIONAL COMPUTATIONS USING NRCS SHALLOW CONCENTRATED METHODOLOGY ARE PROVIDED TO DEMONSTRATE THAT VFS WILL BE STABLE FOR BOTH VELOCITY AND SHEAR STRESS. THIS CALCULATION IS PROVIDED IN THE SUPPORTING DOCUMENTATION AND ON THE DETAIL SHEET.

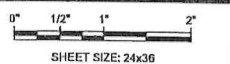


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
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2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION
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RELOCATE EXISTING BIKE PATH

PCSM PLAN
POST-CONSTRUCTION
CONDITIONS

INNOVATION PARK

BUILDING NO. 0999-999	SHEET:
PROJECT NO. 00-10144.00	CP102
DRAWN BY: JDM33	
CHECKED BY: RAM5951	





PCSM PLAN - PRE-CONSTRUCTION CONDITIONS

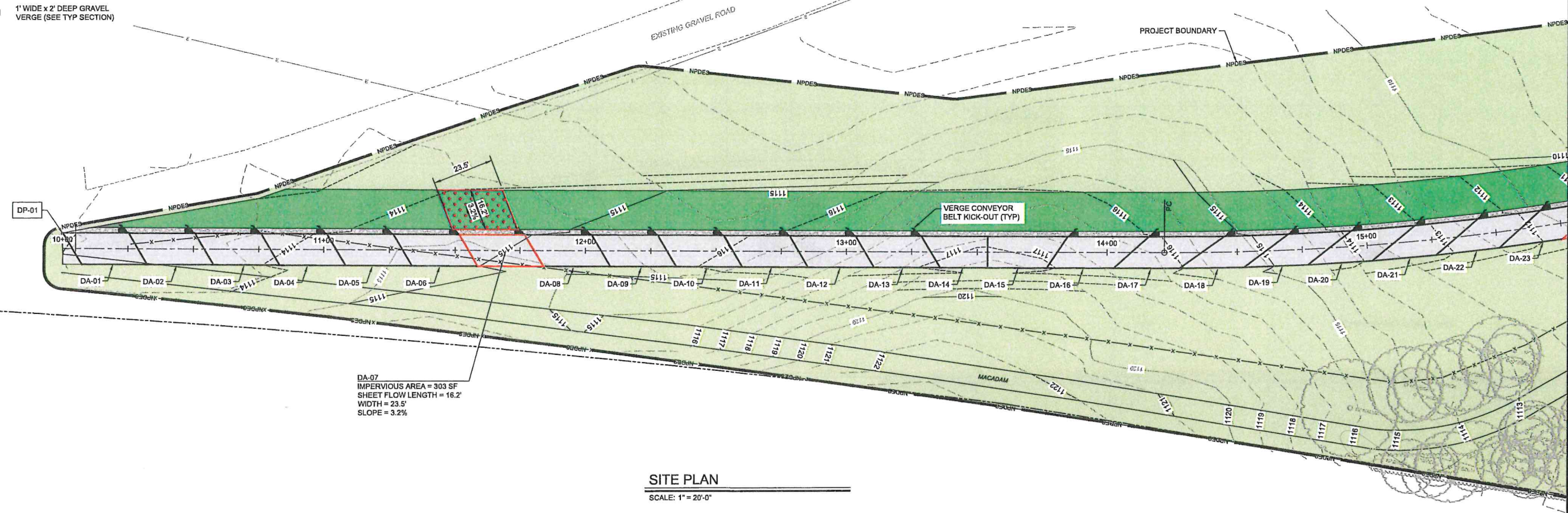
SCALE: 1" = 60'-0"

LEGEND:

ELECTRIC LINE (OVERHEAD)	POTABLE WATER LINE
UTILITY POLE	FENCE LINE
LIGHT POLE	TREE LINE
STORM WATER LINE	PERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
STORM INLET	IMPERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
SANITARY SEWER	VEGETATED FILTER STRIP
MANHOLE	

LEGEND:

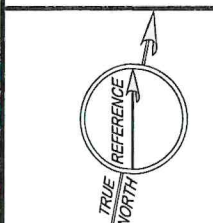
-  PERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
-  IMPERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
-  15' WIDE VEGETATED FILTER STRIP (SEE TYP SECTION)
-  1' WIDE x 2' DEEP GRAVEL VERGE (SEE TYP SECTION)



DA-07
IMPERVIOUS AREA = 303 SF
SHEET FLOW LENGTH = 16.2'
WIDTH = 23.5'
SLOPE = 3.2%

SITE PLAN

SCALE: 1" = 20'-0"

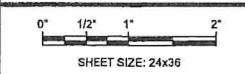


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REVISIONS

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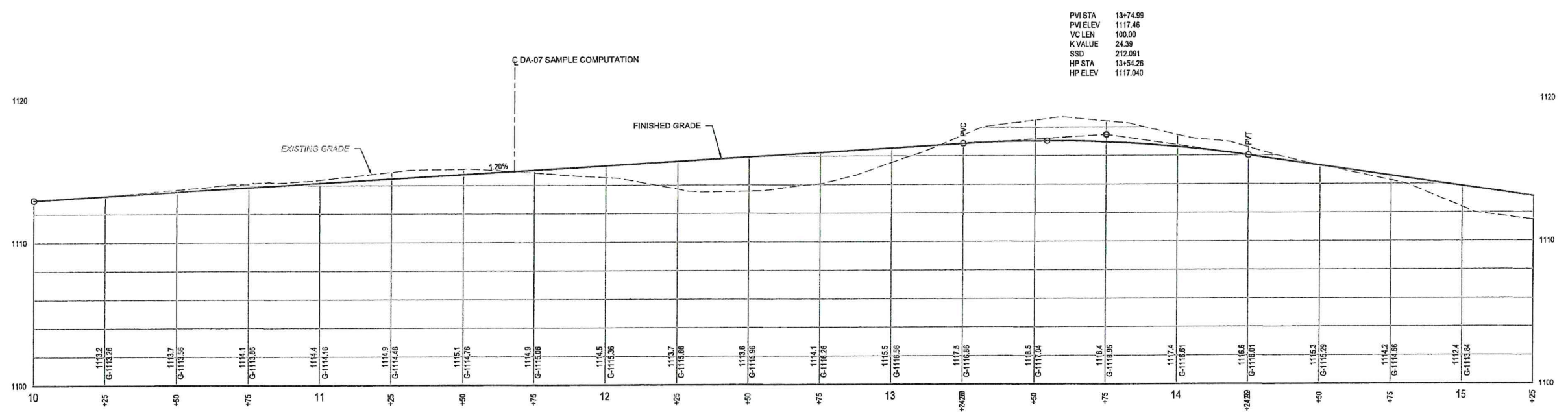


RELOCATE EXISTING BIKE PATH

ESPC PARTIAL PLAN & PROFILE

INNOVATION PARK

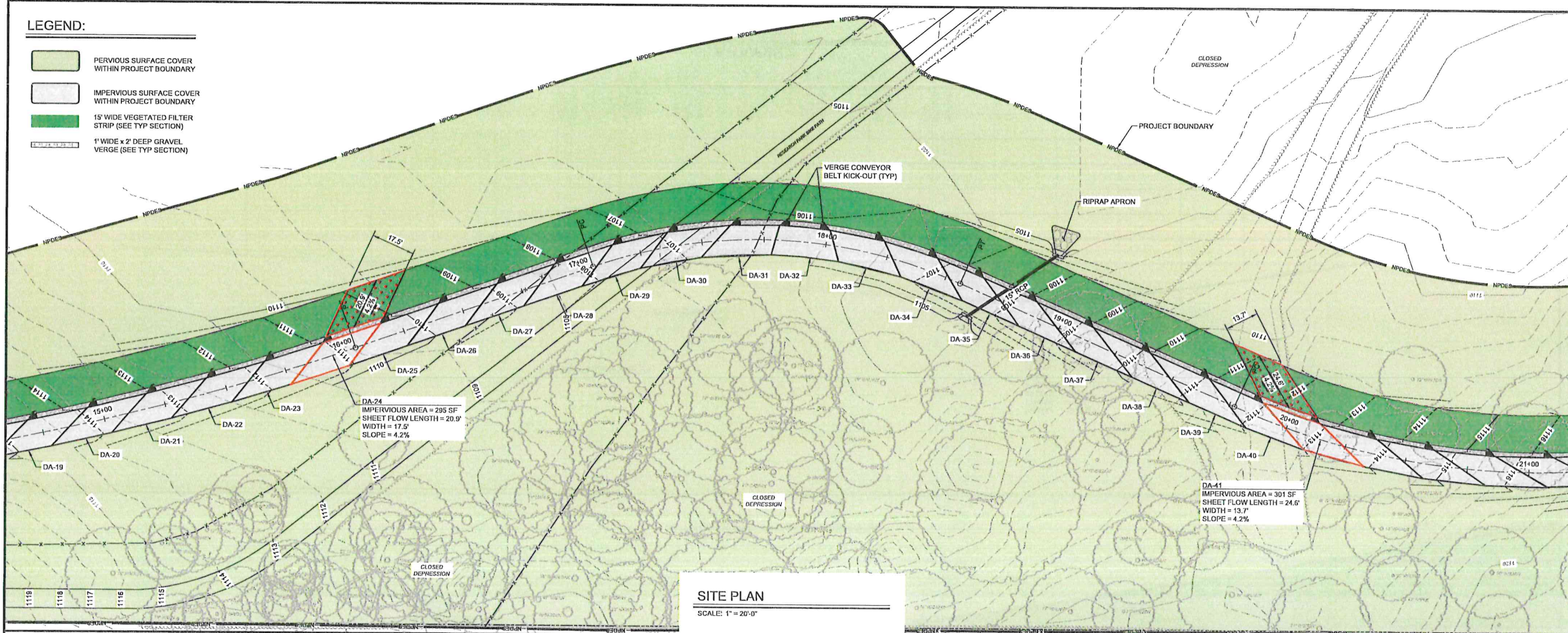
BUILDING NO. 9999-999	SHEET:
PROJECT NO. 03-10144.00	CP103
DRAWN BY: JDM33	
CHECKED BY: RAM5951	



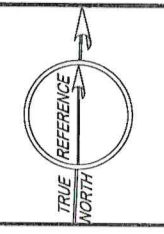
SITE PROFILE

SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)

- LEGEND:**
- PERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
 - IMPERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
 - 15' WIDE VEGETATED FILTER STRIP (SEE TYP SECTION)
 - 1' WIDE x 2' DEEP GRAVEL VERGE (SEE TYP SECTION)



SITE PLAN
 SCALE: 1" = 20'-0"

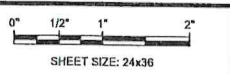


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
2025/11/25	PRELIMINARY PRICING SET
2025/12/19	PSU TEAM REVIEW - CD (90%)
2025/12/22	ISSUED FOR PAG-01 REVIEW
2026/01/15	ISSUED FOR CT LD REVIEW

REVISIONS

SYM	DATE	DESCRIPTION

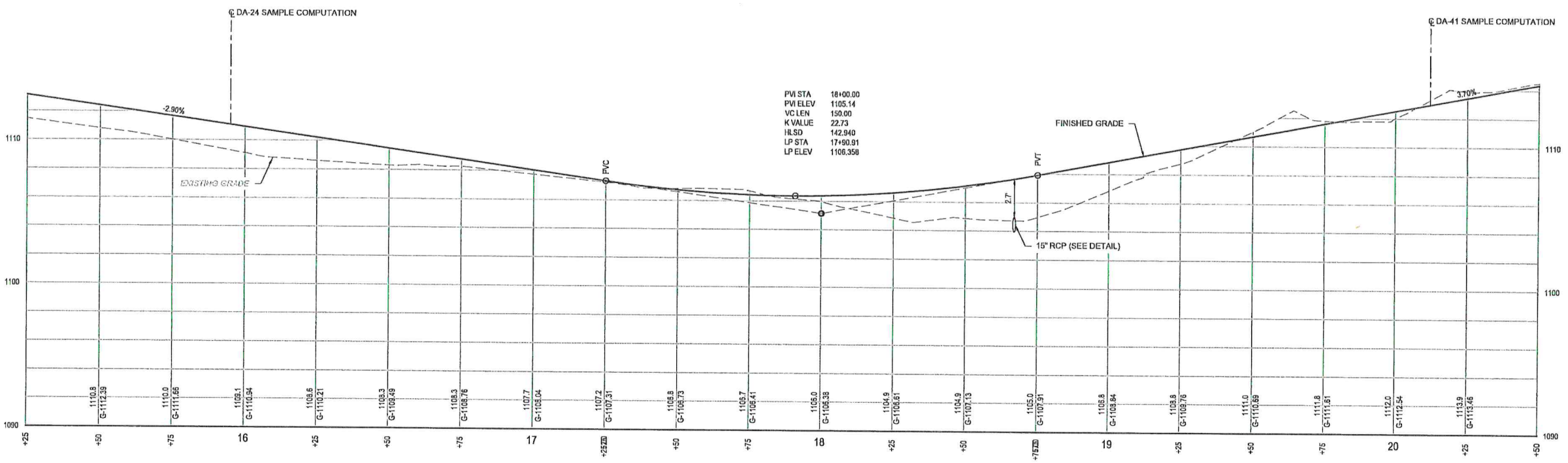


RELOCATE EXISTING BIKE PATH

ESPC PARTIAL PLAN & PROFILE

INNOVATION PARK

BUILDING NO. 9999-999	SHEET: CP104
PROJECT NO. 09-10144.00	
DRAWN BY: JDM33	
CHECKED BY: RAM5951	



SITE PROFILE
 SCALE: 1" = 20'-0" (HORZ)
 1" = 5'-0" (VERT)



SUBMISSIONS

DATE	DESCRIPTION
2025/06/29	COLLEGE TWP SKETCH PLAN
2025/10/30	PSU TEAM REVIEW - DD (60%)
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REVISIONS

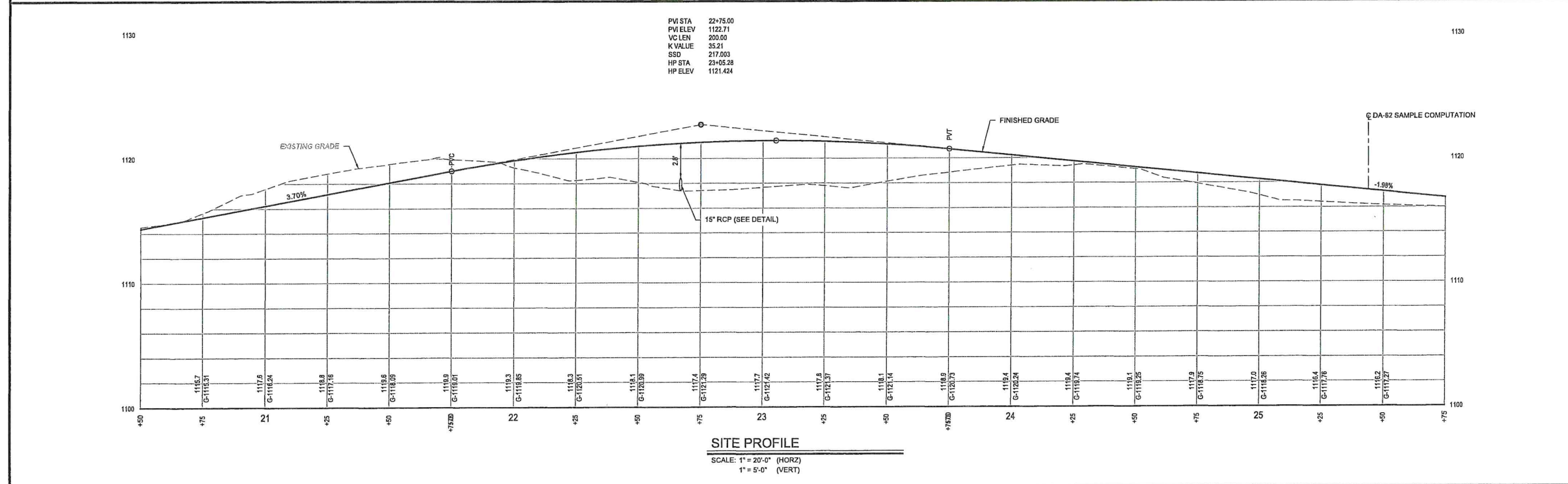
SYM	DATE	DESCRIPTION



RELOCATE EXISTING BIKE PATH

ESPC PARTIAL PLAN & PROFILE

INNOVATION PARK



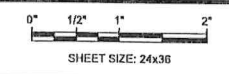


SUBMISSIONS

DATE	DESCRIPTION
2025/08/29	COLLEGE TWP SKETCH PLAN
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REVISIONS

SYM	DATE	DESCRIPTION
-----	------	-------------



SHEET SIZE: 24x36

**RELOCATE EXISTING
BIKE PATH**

**ESPC PARTIAL PLAN
& PROFILE**

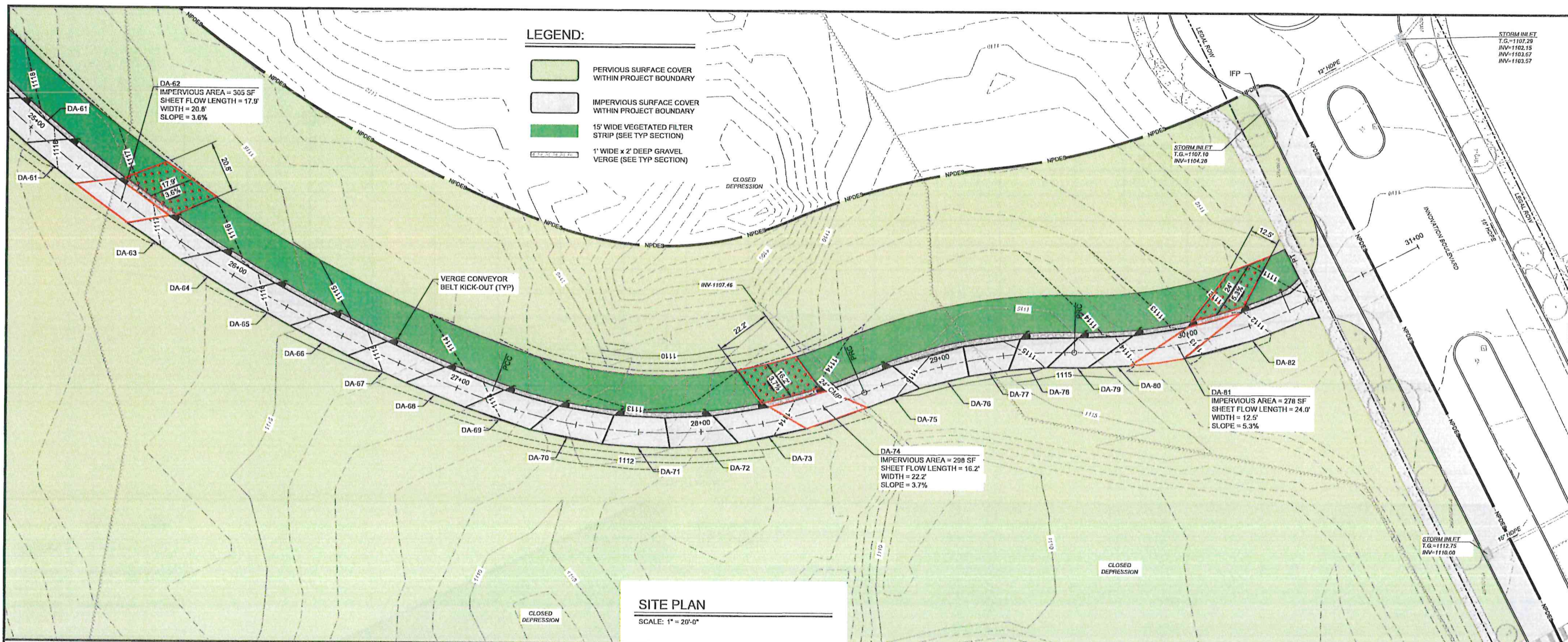
INNOVATION PARK

BUILDING NO. 999-999
PROJECT NO. 00-10144.00
DRAWN BY: JDM33
CHECKED BY: RAM551

SHEET:
CP106

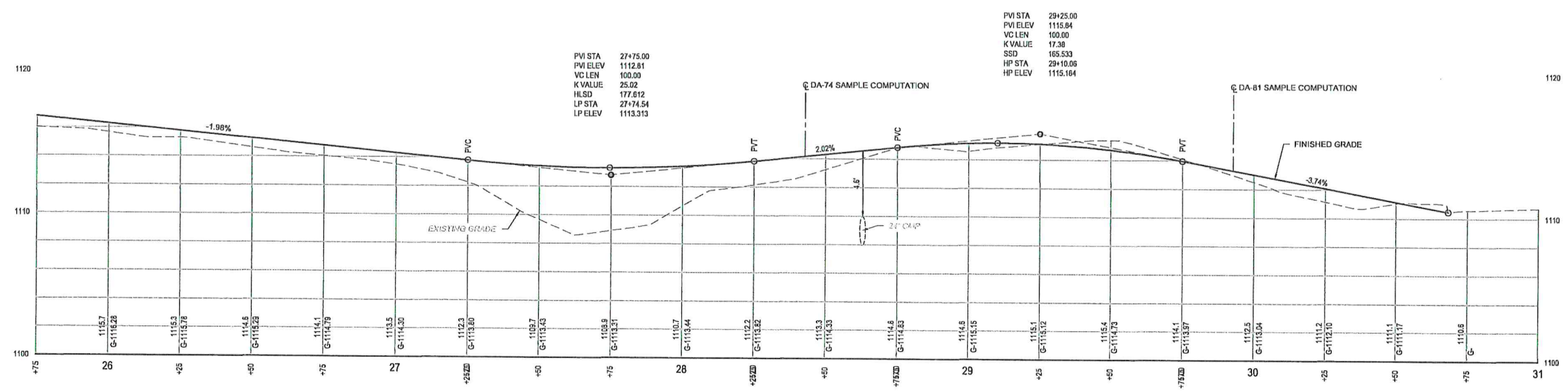
LEGEND:

- PERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
- IMPERVIOUS SURFACE COVER WITHIN PROJECT BOUNDARY
- 15' WIDE VEGETATED FILTER STRIP (SEE TYP SECTION)
- 1' WIDE x 2' DEEP GRAVEL VERGE (SEE TYP SECTION)



SITE PLAN

SCALE: 1" = 20'-0"



SITE PROFILE

SCALE: 1" = 20'-0" (HORZ)
1" = 5'-0" (VERT)

PVI STA 27+75.00
PVI ELEV 1112.81
VC LEN 100.00
K VALUE 25.02
HLSB 177.812
LP STA 27+74.54
LP ELEV 1113.313

PVI STA 29+25.00
PVI ELEV 1115.84
VC LEN 100.00
K VALUE 17.38
SSD 165.533
HP STA 29+10.08
HP ELEV 1115.164

© DA-74 SAMPLE COMPUTATION

© DA-81 SAMPLE COMPUTATION

Grassed Filter Strip Design Calculation Sheet

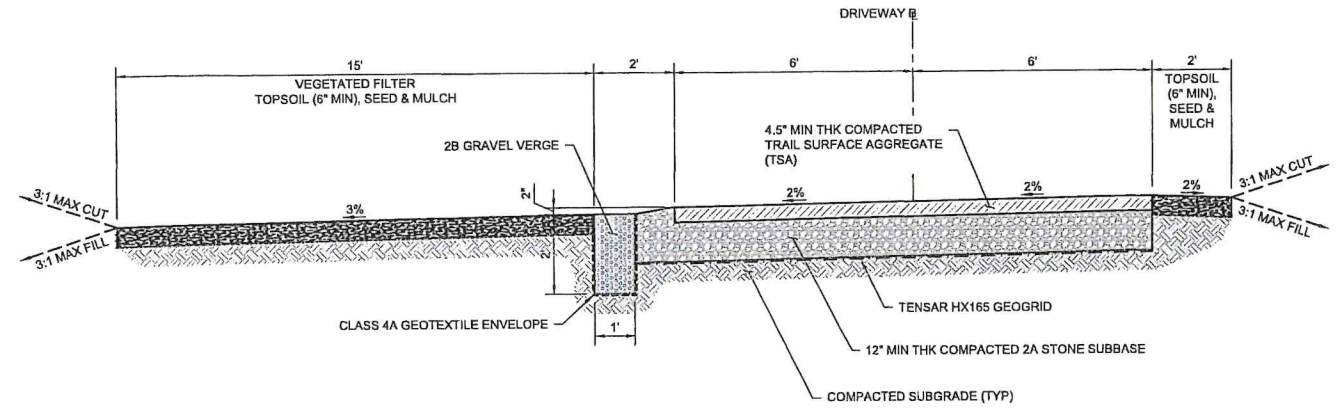
PSU Bldg #	9999-999
PSU Proj #	0010144.00
Date	22-Dec-25

Input Parameters/Cells

Parameter	Value	Units	Notes
Slope (S)	5.30%	Percent	Longitudinal slope
Length	30 ft	ft	Flow path length
Width	15 ft	ft	Filter strip width
Manning's n	0.15	-	Short grass (good condition)
Flow Depth (d)	0.25 ft	ft	Assumed shallow depth
Unit Weight of Water (γ)	62.4 lb/ft ³	Constant	
Allowable Velocity	5 ft/s	From design tables	
Critical Shear Stress	2 lb/ft ²	Typical for grass soil	

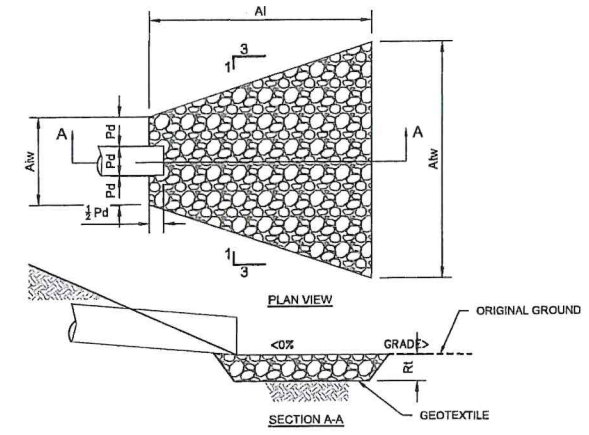
Calculation	Formula	Result	Units
Velocity (V)	$V = [1.49/n] * d^{2/3} * S^{1/2}$	0.01	ft/s
Shear Stress (τ)	$\tau = \gamma * d * S$	0.03	lb/ft ²
Flow Rate (Q)	$Q = V * width * depth$	3.40	ft ³ /s
Check Velocity	V < Allowable	OK	
Check Shear	τ < Critical	OK	

5.3% is the Maximum Computed Slope of the Vegetated Filter Strip to use for Velocity and Shear Stress Computations to show Stability



TYP BIKE PATH SECTION

SCALE: NONE



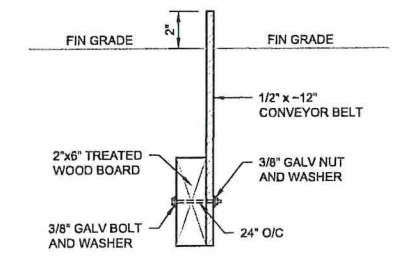
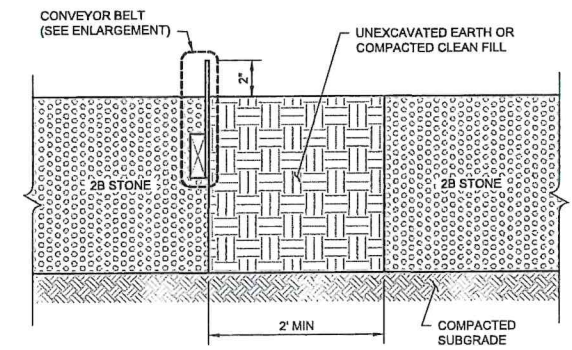
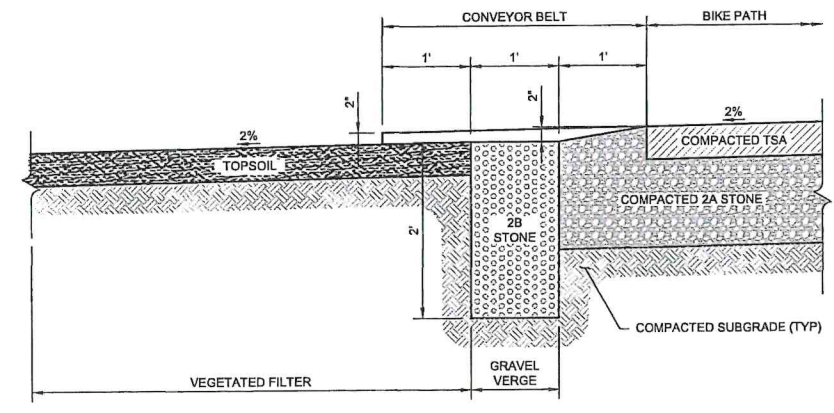
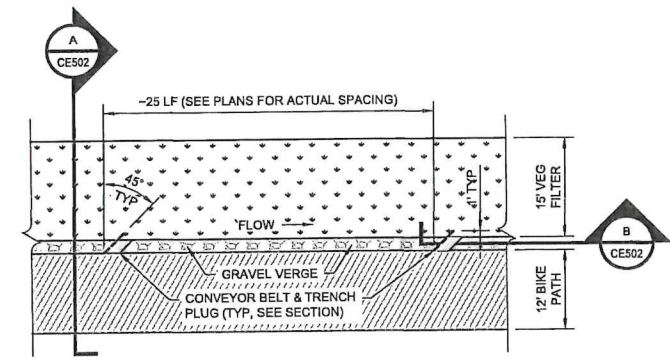
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE (R-)	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
RA-01	15"	R-3	12"	9'	4'	13'
RA-02	15"	R-3	12"	9'	4'	13'

RIPRAP APRON AT PIPE OUTLET DETAIL

SCALE: NONE

VEGETATED FILTER CALCULATIONS

SCALE: NONE



VERGE CONVEYOR BELT KICK-OUT DETAIL

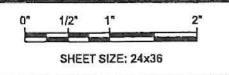
SCALE: NONE

SUBMISSIONS

DATE	DESCRIPTION
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REVISIONS

SYM	DATE	DESCRIPTION
-----	------	-------------



RELOCATE EXISTING BIKE PATH

PCSM DETAILS

INNOVATION PARK

BUILDING NO. 9999-999	SHEET:
PROJECT NO. 00-10144.00	CP501
DRAWN BY: JDA/33	
CHECKED BY: RAM/5951	



P-2
3075 Enterprise Drive
State College, PA 16801
PennTerra.com | 814-231-8285

February 27, 2026

College Township
1481 East College Avenue
State College, PA 16823

RECEIVED
FEB 27 2026
College Township
ENGINEERING DEPARTMENT

Re: Park Furniture Store- Sketch Plans (PTE # 25091)

Dear College Township Council,

We are writing to kindly request that our project, "**Park Furniture - Shiloh Community Park**," be placed on the **agenda for the next regularly scheduled meeting** of the College Township Planning Commission & Council.

The purpose of this request is to present an **informal sketch plan** to the Commission and Township staff for the purpose of **discussing the proposed development** and obtaining preliminary advice.

We wish to emphasize that this is **not a formal application** for a planned development. We understand that the filing of this sketch plan and our presence at the meeting do not constitute a formal plan submission and that any recommendations or advice provided by the Planning Commission during this meeting will **not be binding** on any future formal applications.

Thank you for your time and assistance with this project. We look forward to discussing our plans with the Commission. If anything, else is needed to consider, please do not hesitate to contact me directly at 814-231-8285, extension **310**, or by e-mail at **mtorretti@PennTerra.com**.

Sincerely,

A handwritten signature in black ink that reads "Mark Torretti".

Mark Torretti
Project Manager

Cc:25091



PennTerra
ENGINEERING INC.

3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
www.PENNTERRA.com

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RECEIVED

FEB 27 2026

College Township
ENGINEERING DEPARTMENT

Designer(s) _____
Environmental _____
Proj. Manager _____
Surveyor _____
Perimeter Ck. _____
Book _____ Pg. _____
File _____ JOB NO. _____
Layout _____ OVERALL _____

Date	Description	REVISIONS

PARK FURNITURE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

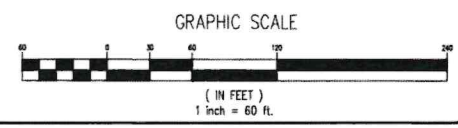
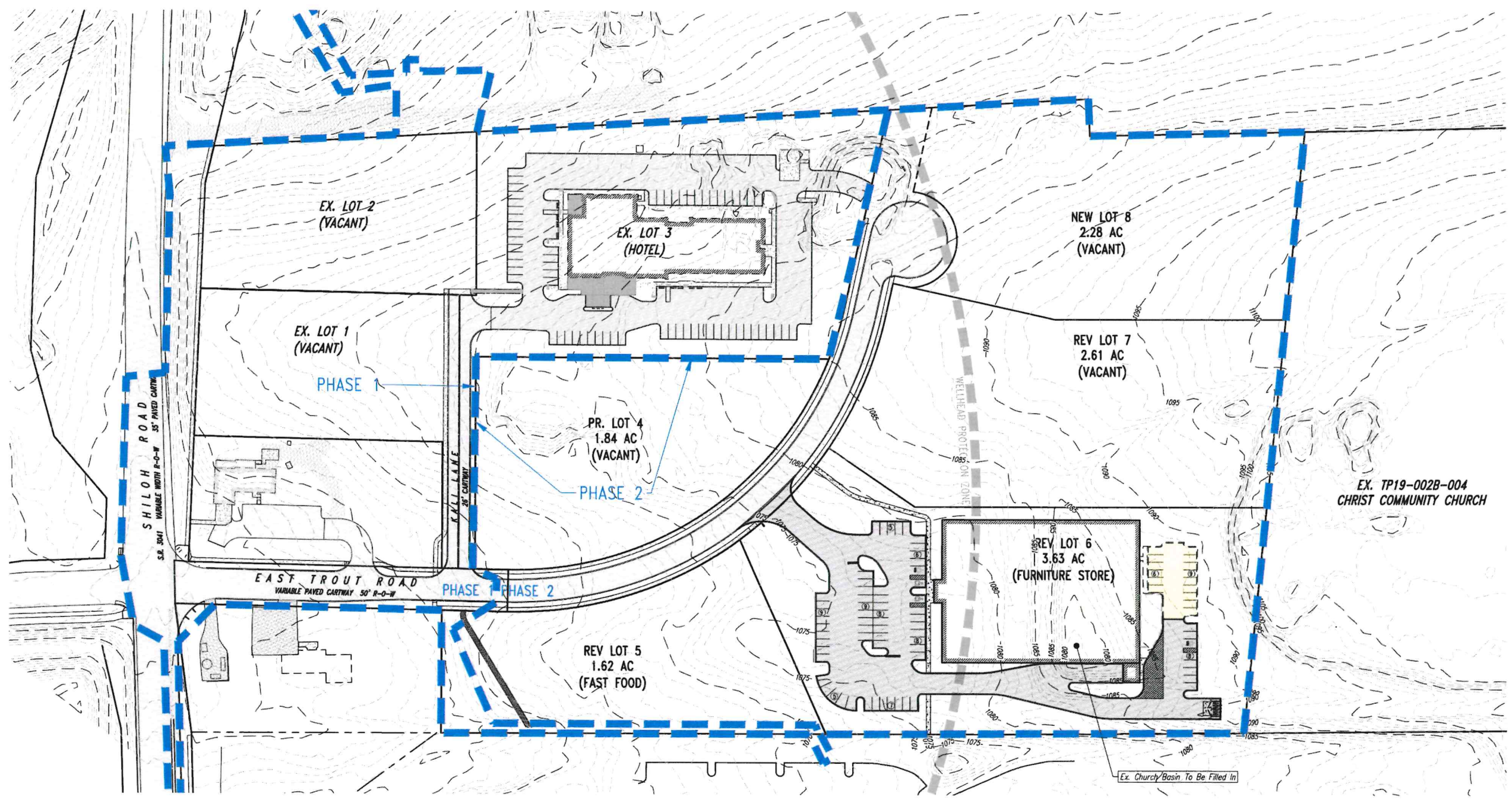
SKETCH

FURNITURE STORE - OVERALL SUBDIVISION (REVISED LOTS 5, 6, 7, & 8 OF SHILOH COMMERCIAL PARK)

PROJECT NO.
25091

DATE
FEBRUARY 26, 2026

SCALE SHEET NO.
1" = 60' 1



P:\MapInfo\2025\25091\10\MapInfo\sketch\sketch\FAST FOOD SITE TO BE FILLED IN.DWG 2/26/2026 10:08:25 PAL 1:1

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Designer(s)	
Environmental	
Proj. Manager	
Surveyor	
Perimeter Ch.	
Book	Pg.
File	25091.DWG
Layout	LOT 6

REVISIONS	
Date	Description

PARK FURNITURE	
COLLEGE TOWNSHIP CENTRE COUNTY PENNSYLVANIA	
SKETCH	
FURNITURE STORE - (REVISED LOT 6 OF SHILOH COMMERCIAL PARK)	

PROJECT NO.	25091
DATE	FEBRUARY 26, 2026
SCALE	1"=30'
SHEET NO.	2

SURVEY FEATURES LEGEND

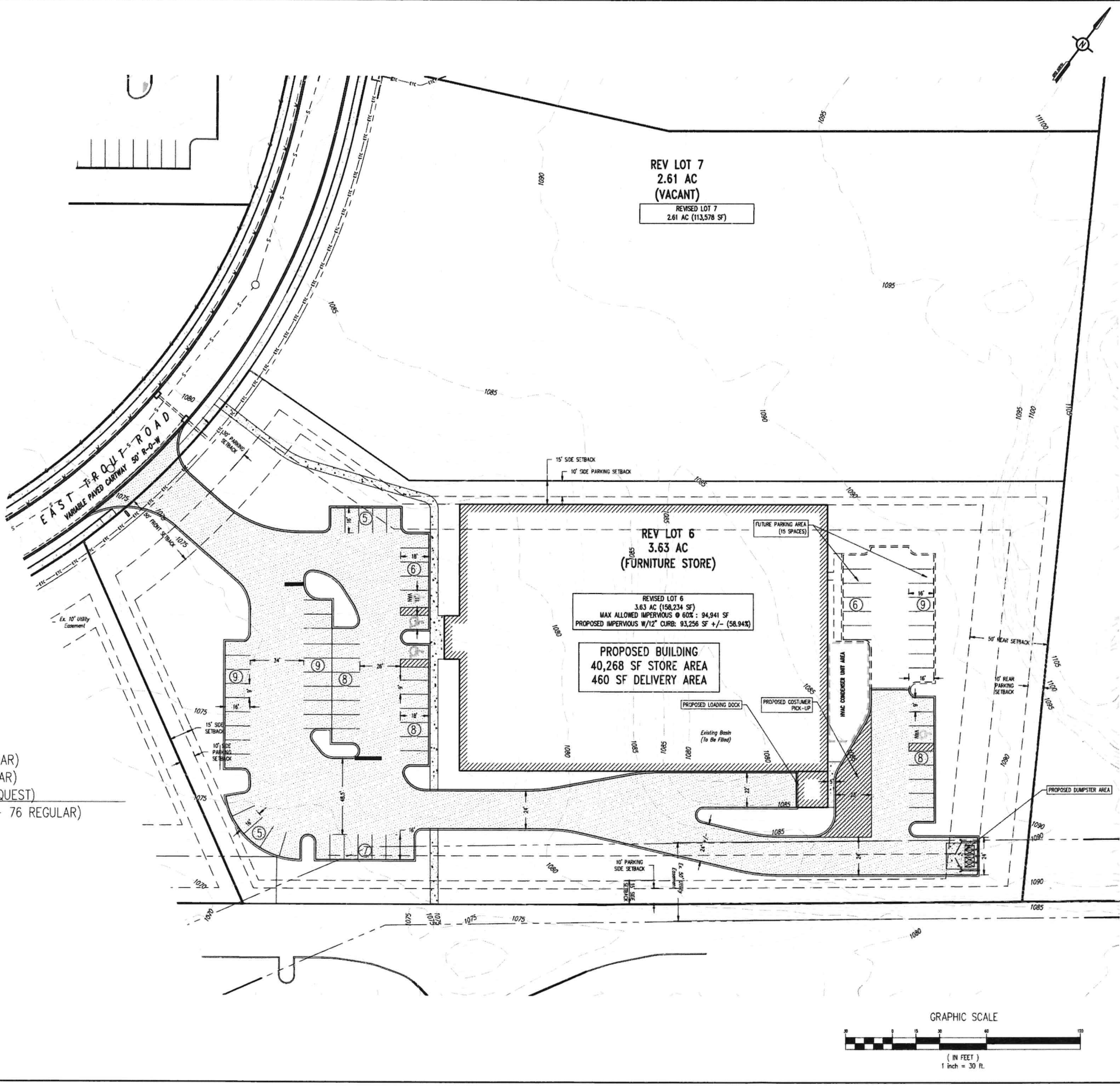
- Property Line, Lot Line or Right of Way Line
- - - Adjoining Property Line
- - - Building Setback Line
- - - Easement Line
- - - Property Line To Be Revised

EXISTING FEATURES LEGEND

- Existing Curbing (Per Shiloh Commercial Park - Phase 2)
- Existing Concrete Areas (Per Shiloh Commercial Park - Phase 2)
- Existing Pavement Areas (Per Shiloh Commercial Park - Phase 2)
- Existing Gravel Areas (Per Shiloh Commercial Park - Phase 2)
- - - Existing Contours w/ Elevation (1's) (Per Shiloh Commercial Park - Phase 2)
- - - Existing Contours w/ Elevation (5's) (Per Shiloh Commercial Park - Phase 2)
- - - Existing Sanitary Sewer w/ Manhole (Per Shiloh Commercial Park - Phase 2)
- - - Existing Sanitary Sewer Lateral w/ Clean Out (Per Shiloh Commercial Park - Phase 2)
- - - Existing Water Line w/ Valve (Per Shiloh Commercial Park - Phase 2)
- - - Existing Water Service Lateral (Per Shiloh Commercial Park - Phase 2)
- - - Existing Storm Sewer Line w/ Inlet (Per Shiloh Commercial Park - Phase 2)
- - - Existing Gas Line (Per Shiloh Commercial Park - Phase 2)
- - - Existing Combined Utility Conduit (Per Shiloh Commercial Park - Phase 2)
- - - Existing Fire Hydrant (Per Shiloh Commercial Park - Phase 2)
- - - Existing Manhole (Per Shiloh Commercial Park - Phase 2)

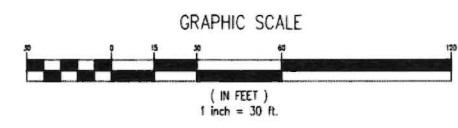
PROPOSED FEATURES LEGEND

- ▨ PROPOSED BUILDING
- ▨ PROPOSED CURBING & EDGE OF PAVEMENT
- ▨ PROPOSED CONCRETE AREAS
- ▨ PROPOSED BITUMINOUS PAVEMENT AREAS
- ▨ PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- ▨ PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- Ⓢ PROPOSED PARKING STALL COUNT



PARKING:
REQUIRED PARKING: 80 SPACES

PROPOSED:
FRONT PARKING LOT: 57 SPACES (3 HANDICAP + 54 REGULAR)
REAR PARKING LOT: 8 SPACES (1 HANDICAP + 7 REGULAR)
FUTURE PARKING LOT: 15 SPACES (PARKING REDUCTION REQUEST)
TOTAL: 80 PROPOSED SPACES (4 HANDICAP + 76 REGULAR)



SURVEY FEATURES LEGEND

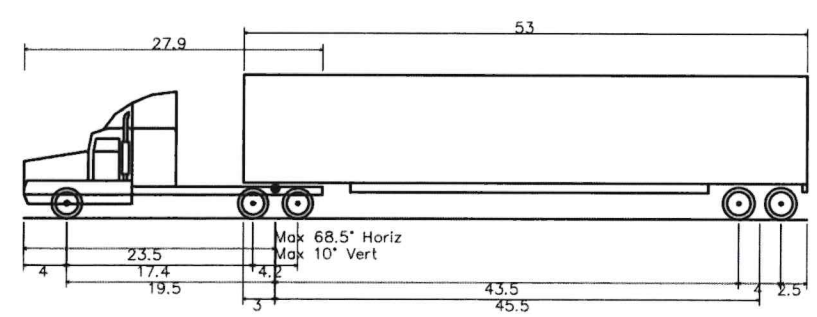
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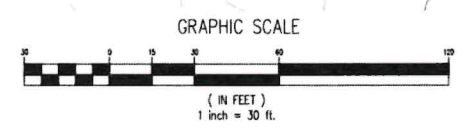
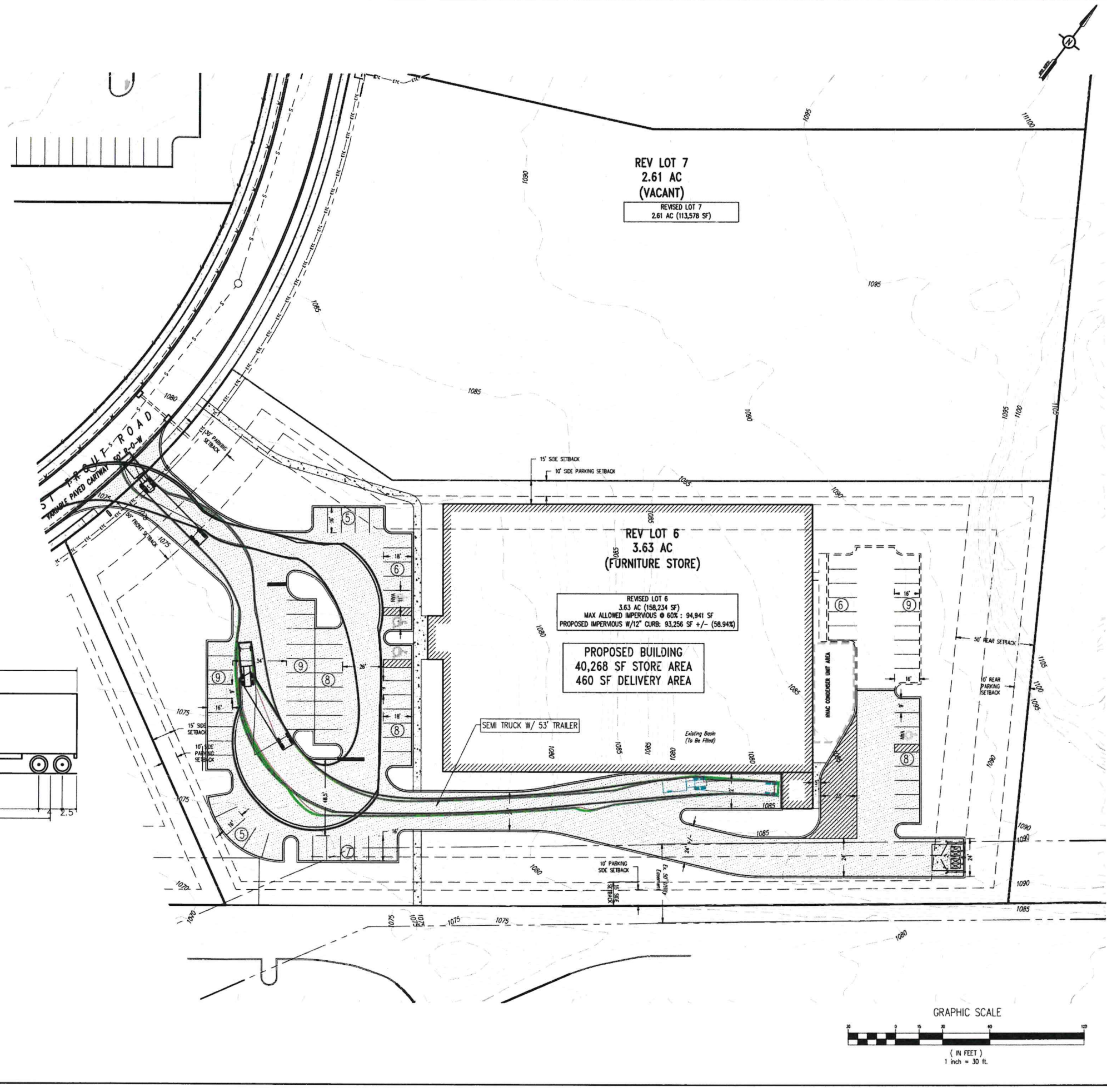
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- Existing Gas Line (Per Shiloh Commercial Park - Phase 2)
- ETC ETC Existing Combined Utility Conduit (Per Shiloh Commercial Park - Phase 2)
- Existing Fire Hydrant (Per Shiloh Commercial Park - Phase 2)
- Existing Manhole (Per Shiloh Commercial Park - Phase 2)

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING & EDGE OF PAVEMENT
- PROPOSED CONCRETE AREAS
- PROPOSED BITUMINOUS PAVEMENT AREAS
- PROPOSED PAINTED SITE CROSSWALK (ACCESSIBLE ROUTE)
- PROPOSED PAINTED HANDICAPPED PARKING SYMBOLS
- PROPOSED PARKING STALL COUNT



WB-67 - Interstate Semi-Trailer
 Overall Length 73.501ft
 Overall Width 8.500ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40°





**COLLEGE TOWNSHIP
MANAGER'S UPDATE**

March 5, 2026

**Status: (C) = Complete; (I) – Incomplete; (D) = Dropped;
(R) - Rewritten**

(I) 21-04 Dale Summit Small Area Plan (SAP)/Form Based Code

Abridged Comments: 10/19/21, 11/1/21, 11/11/21, 11/29/21, 12/13/21, 1/11/22, 1/31/22, 2/11/22, 2/24/22, 3/8/22, 3/29/22, 4/18/22, 5/12/22, 5/24/22, 6/2/22, 6/7/22, 6/13/22, 7/14/22, 8/1/22, 8/15/22, 8/29/22, 9/9/22, 10/3/22, 10/28/22, 11/14/22, 11/28/22, 12/6/22, 12/28/22, 1/11/23, 1/26/23, 2/6/23, 4/3/23, 4/17/23, 4/20/23, 5/12/23, 5/18/23, 6/01/23, 6/12/23, 6/26/23, 7/11/23, 7/28/23, 09/1/23, 9/11/23, 9/12-13/23, 10/16/23, 10/23/22, 12/4/23, 12/19/23, 1/29/24, 1/29/24, 2/6/24, 4/1/24, 4/12/24, 4/23/24, 6/3/24, 6/17/24, 7/17/24, 8/7/24, 8/29/24, 10/14/24, 1/17/25, 3/13/25, 4/14/25, 4/28/25, 5/30/25, 6/13/25, 7/14/25, 7/30/25, 8/29/25, 9/26/25, 10/7/25, 10/31/25, 11/18/25, 12/01/25, 12/15/25, 1/9/26, 1/28/26, 2/3/26

Comments: 3/2/26 PC to discuss FBC Use Tables on 3/3, with particular focus on residential densities in the Mixed Neighborhood district.

(I) 19-08 Solar Power Purchasing Agreement

Abridged Comments: 8/28/19, 9/29/19, 10/10/19, 12/13/19, 1/8/20, 1/10/20, 1/23/20, 2/28/20, 3/5/20, 5/7/20, 5/22/20, 2/11/22, 8/13/22, 8/29/21, 9/2/21, 11/19/21, 5/2/22, 5/5/22, 6/30/22, 8/18/22, 10/3/22, 10/20/22, 11/14/22, 11/28/22, 12/12/22, 01/17/23, 2/7/23, 2/23/23, 3/1/23, 3/2/23, 4/17/23, 5/12/23, 7/22/23, 8/23/23, 9/13/23, 9/13/23, 9/26/23, 9/27/23, 10/24/23, 12/4/23, 12/13/23, 1/22/24, 2/6/24, 3/4/24, 3/5/24, 4/1/24, 4/12/24, 6/3/24, 6/17/24, 7/29/24, 8/7/24, 8/29/24, 9/16/24, 9/25/24, 10/3/24, 10/9/24, 11/1/24, 11/13/24, 12/2/24, 12/23/24, 1/6/25, 1/27/25, 4/28/25, 5/6/25, 6/16/25, 6/25/25, 7/30/25, 8/6/25, 9/26/25, 10/10/25, 10/31/25, 12/1/25, 12/3/25, 1/20/26, 2/16/26.

Comments: 3/3/26 At 2/27 meeting, Work Group recommended that member entities no longer pursue PPA. Council to review a Mutual Termination Agreement on 3/19/26.

(I) 21-05 Path to Campus (East College Avenue Shared Use Path)

Abridged Comments: 9/3/21, 9/13/21, 10/1/21, 11/1/21, 11/5/21, 4/22/22, 5/12/22, 6/9/22, 6/13/22, 7/8/22, 7/25/22, 8/18/22, 8/29/22, 9/1/22, 10/28/22, 10/31/22, 11/12/22, 11/28/22, 12/12/23, 01/12/23, 4/03/23, 4/17/23, 4/28/23, 5/12/23, 5/17/23, 7/14/23, 7/25/23, 12/4/23, 12/4/23, 3/26/24, 5/8/24, 6/3/24, 7/18/24, 8/7/24,

8/29/24, 9/16/24, 10/14/24, 11/4/24, 11/7/24, 1/7/25, 5/7/25,
5/30/25, 6/23/25, 7/30/25, 8/8/25, 9/26/25, 10/3/25, 10/31/25,
11/7/25, 12/01/25, 12/9/25, 12/19/25

Comments: 3/2/25 Rue Environmental, Archaeological Consultant, is expected to begin test pits on 3/4.

(I) 25-01 Municipal Facility Renovations

Abridged Comments: 6/13/25, 6/25/25, 7/14/25, 8/01/25, 8/18/25, 9/26/25, 10/9/25,
10/31/25, 11/13/25, 12/1/25, 1/5/16, 1/15/26, 1/26/26.

Comments: 3/2/26 Kimmel Architecture & subconsultants conducted site tour/assessment on 2/25.

(I) 25-02 Shiloh Road Corridor Partnership

Abridged Comments: 2/16/26.

Comments: 2/27/26: PennDOT MTF grant submitted on 2/26 for Shiloh Road Improvements.

Comments: 3/2/26: Partners met on 2/28 to discuss agreement language, project phasing.

COUNCIL CONSENT AGENDA

March 5, 2026

CA-1 Minutes, Approval of

- a. February 19, 2026 – College Township Council Public Hearing Minutes
- b. February 19, 2026 – College Township Council Regular Meeting Minutes

CA-2 Correspondence, Receipt/Approval of

- a. Letter from Penn Terra dated February 18, 2026, regarding time extension for the Crew 814 Phase I Final LDP to June 16, 2026
- b. Emails from John Ferguson regarding Single Use Plastics
- c. Letter from First Night State College dated February 23, 2026, regarding donation

CA-3 Action Item, Approval

- a. Resolution R-26-10 – Disposition of Devices
- b. Waiver request for Classic Cones



Photo by Frank Scott, IV



**COLLEGE TOWNSHIP COUNCIL
PUBLIC HEARING MEETING MINUTES**

A. ORDINANCE O-26-01

B. ORDINANCE O-26-02

Thursday, February 19, 2026

1481 E. College Avenue, State College PA 16801

Hybrid Meeting (In-Person or via Zoom)

**ATTENDED BY -
COUNCIL:**

Susan Trainor, Chair
Tracey Mariner, Vice Chair
D. Richard Francke
Eric Bernier

STAFF:

Adam T. Brumbaugh, Township Manager/Secretary
Mike Bloom, Assistant Township Manager
Don Franson, P.E., P.L.S., Township Engineer
Amy Kerner, P.E., Public Works Director
Keri Kenepp, Director of Community & Economic Development
Mark Gabrovsek, Zoning Officer
Katy VanAmburg, Assistant Township Secretary

ABSENT:

Gretchen Brandt, Council
Lindsay Schoch, AICP, Principal Planner

CALL TO ORDER: Ms. Susan Trainor, Council Chair, called to order the February 19, 2026, Public Hearing of the College Township (CT) Council at 7:02 PM and led in the Pledge of Allegiance.

ANNOUNCEMENT: Chair Trainor announced that Council met in Executive Session prior to the Public Hearing to discuss a personnel matter.

- BUSINESS:**
- A. Ordinance O-26-01** – Zoning, Zoning Map
 - B. Ordinance O-26-02** – Conditional Uses, Subdivision and Land Development, Zoning

PUBLIC OPEN DISCUSSION: No *Public Open Discussion* brought forward.

Ms. Trainor acknowledged public comments received via email from Mr. Jaeson Koszarsky, Patton Township resident, and Ms. Dorothy Blair and Mr. Daniel Alters, Harris Township residents.

Hearing no further public discussion, Chair Trainor called for a motion to adjourn the Public Hearing.

**Mr. Bernier motioned to adjourn the February 19, 2026
Public Hearing on Ordinance O-26-01 and Ordinance O-26-02.
Mr. Francke seconded the motion.**

Chair Trainor adjourned the February 19, 2026 Public Hearing at 7:03 PM.



Respectfully submitted,

Draft

Adam T. Brumbaugh
Township Manager/Secretary



**COLLEGE TOWNSHIP COUNCIL
REGULAR MEETING MINUTES
Thursday, February 19, 2026
1481 E. College Avenue, State College PA 16801
Hybrid Meeting (In-Person or via Zoom)**

**ATTENDED BY –
COUNCIL:**

Susan Trainor, Chair
Tracey Mariner, Vice Chair
D. Richard Francke
Eric Bernier

STAFF:

Adam T. Brumbaugh, Township Manager/Secretary
Mike Bloom, Assistant Township Manager
Don Franson, P.E., P.L.S., Township Engineer
Amy Kerner, P.E., Public Works Director
Keri Kenepf, Director of Community & Economic Development
Mark Gabrovsek, Zoning Officer
Katy VanAmburg, Assistant Township Secretary

ABSENT:

Gretchen Brandt, Council
Lindsay Schoch, AICP, Principal Planner

CALL TO ORDER: Ms. Susan Trainor, Council Chair, called to order the February 19, 2026, Regular meeting of the College Township (CT) Council at 7:04 PM and led in the Pledge of Allegiance.

PUBLIC OPEN DISCUSSION: No *Public Open Discussion* brought forward.

NEW AGENDA ITEMS: No *New Agenda Items* were added to the agenda.

SPECIAL

PRESENTATION: **SP-1** **None**

PLANS: **P-1** **None**

Ms. Trainor moved CA-3.a, Proclamation P-26-02, to this point on the agenda.

CA-3.a., Proclamation P-26-02: Ms. Trainor read into the record Proclamation P-26-02, recognizing Lunar New Year.

Ms. Sharon Fong, State College Borough resident, and Ms. Nalini Krishnankutty, State College Borough Councilwoman, were present to receive the Proclamation and offered remarks in commemoration of Lunar New Year.

**Mr. Francke made a motion to accept CA-3.a.,
Proclamation P-26-02, recognizing Lunar New Year.
Mr. Bernier seconded the motion.
Motion carried unanimously.**

Council offered appreciation to both Ms. Fong and Ms. Krishnankutty for their remarks.

REPORTS:



a. Manager's Update

Mr. Brumbaugh offered the Manager's Update report as presented. No additions were made to the report. He noted the Chamber (CBICC) have pledged \$10k towards the Sylvan View Estates initiative. To date, \$235k of \$300k has been pledged. Mr. Mike Bloom, Assistant Township Manager, offered Kimmel Architecture will be present on February 25, 2026, to assess structural and mechanical needs for the Municipal building renovation.

b. COG Regional, County, and Liaison Reports

COG Parks Capital Committee: Mr. Bernier reported the COG Parks Capital Committee met jointly with Centre Region Parks and Recreation Authority (CRPRA) on February 19, 2026. The Committee held their Reorganization meeting and finalized a meeting schedule. The Committee also saw a demonstration for an autonomous commercial mower and discussed the Puddintown Road sewer interceptor project.

COG Public Safety Committee: Ms. Trainor reported the COG Public Safety Committee met on February 10, 2026. The Committee heard a report from Mr. Brian Bittner, Director of Emergency Management at Penn State University (PSU), on the Winter Sports Weekend at PSU. The COG Municipalities are asked to provide feedback to the Committee. Discussions occurred about traffic control, parking challenges, and the number of events held within the weekend. Council directed Staff to prepare a formal draft of comments to be discussed at the March 5, 2026 meeting.

COG Finance Committee: Mr. Francke reported the COG Finance Committee met on February 12, 2026. The Committee discussed the Welch Pool replastering project, recommended a budget amendment for the purchase of a snowplow, and compiled the Fund Balance Policy.

COG Executive Committee: Ms. Trainor reported the COG Executive Committee met on February 17, 2026. The Committee considered a Resolution for reforms to Immigration and Customs Enforcement (ICE). She noted the Centre Regional Planning Agency (CRPA) will hold a Strategic Planning session prior to the General Forum meeting on February 23, 2026, and an Active Violence training will take place afterwards.

c. Staff/P.C./Other Committee Reports

CT Planning Commission (PC): Mr. Matthew Fenton, PC Liaison, reported that PC met on February 17, 2026. PC continued working on Form Based Code (FBC), focusing specifically on the element of Uses. PC also considered a conditional use request from Legacy Boxing & Combat Academy and made a recommendation to Council for approval.

d. Diversity, Equity, Inclusion & Belonging Reports (Public invited to report)

Mr. Bloom offered nothing additional to his DEIB report of February 5, 2026.

CONSENT AGENDA:

CA-1 Minutes, Approval of

- a. January 28, 2026 – College Township Council/PC Joint Meeting Minutes
- b. February 5, 2026 – College Township Council Regular Meeting Minutes

CA-2 Correspondence, Receipt/Approval of



- a. Letter from HRG dated February 6, 2026, regarding time extension for the Greystar Student Housing LDP to June 2, 2026
- b. Email from the LVA dated February 6, 2026, regarding safety concerns for pedestrians around the Granary

CA-3 Action Item, Approval

- a. Proclamation P-26-02 – Recognizing Lunar New Year
- b. Letter from A Soldier’s Hands received February 13, 2026, requesting sponsorship
- c. Letter of Support - BUILD Funding for South Atherton Street improvements

Ms. Mariner made a motion to approve the Consent Agenda minus CA-3.b.

Mr. Bernier seconded the motion.

Motion carried unanimously.

CA-3.b.: Mr. Brumbaugh addressed the letter from A Soldier’s Hands regarding sponsorship. He noted last year’s contribution was \$500. Council agreed to a \$500 sponsorship in 2026.

Ms. Mariner made a motion to approve CA-3.b. as part of the Consent Agenda and authorize Mr. Brumbaugh to donate \$500.00 to A Soldier’s Hands.

Mr. Bernier seconded the motion.

Motion carried unanimously.

OLD BUSINESS: OB-1.A. Ordinance O-26-01 – Zoning Map

Ms. Keri Kenepf, Director of Community & Economic Development, offered a memorandum dated February 15, 2026, outlining key components associated with the proposed PAM Health inpatient Rehabilitation Hospital.

She noted the PAM Health proposal includes:

- **Development of Regional Impact (DRI)** – an expansion of the Regional Growth Boundary and Sewer Service Area (RGB/SSA) is required to accommodate the facility
- **Rezoning request** – rezone a 5.8 acre parcel, adjacent to Innovation Park, from University Planned District 14 (UPD 14) to Planned Research and Business Park District (PRBD) to accommodate the hospital use
- **Subdivision Plan** – addresses the division of land and establishes the framework for future land development
- **Developer’s Agreement** – prepared as a condition of approval that states commitments associated with the proposal and ensures implementation of any conditions imposed by Council

Ms. Kenepf noted that consideration of the DRI and Rezoning request are not the final steps in the approval process. Any remaining site-specific matters, including traffic mitigation, utilities, stormwater management, and building design, will be addressed during the land development review process in accordance with Township regulations.

Mr. Brandon McFarren of Catalyst Health Care Real Estate, was present to answer questions related to the PAM Health plan.

Mr. Brumbaugh clarified the rezoning would have been addressed sooner if the property was within the RGB/SSA.



Mr. Francke made a motion to approve the rezoning request to rezone 5.8 acres of Tax Parcel 19-003-100 from University Planned District 14 (UPD 14) to Planned Research and Business Park District (PRBD) subject to the following conditions:

- 1) Record the P.A.M. State College Preliminary/Final Subdivision Plan**
- 2) Provide a fully executed Developer's Agreement**

Mr. Bernier seconded the motion.

Motion carried unanimously.

Ms. Mariner made a motion to approve the request to expand the Regional Growth Boundary (RGB) and Sewer Service Area (SSA) to encompass an additional 5.8 acres of Tax Parcel 19-003-100 subject to the following conditions:

- 1) Record the P.A.M. State College Preliminary/Final Subdivision Plan**
- 2) Provide a fully executed Developer's Agreement**

Mr. Bernier seconded the motion.

Motion carried unanimously.

Mr. Francke made a motion to approve Ordinance O-26-01 to amend the College Township Zoning Map to change 5.8 acres of University Planned District 14 (UPD 14) to Planned Research and Business Park District (PRBD).

Ms. Mariner seconded the motion.

Motion carried unanimously.

Council offered appreciation to Staff for their efforts related to the DRI and rezoning process.

OB-1.B. Ordinance O-26-02 – Conditional Uses, Subdivision and Land Development, Zoning

Ms. Kenepp offered a memorandum dated February 12, 2026, outlining proposed amendments to three (3) chapters of the Township Code in an effort to modernize Ordinances and stay current with emerging trends at the State level. The proposed Ordinance changes are as follows:

- **Chapter 87, Conditional Uses:** Add “Data Centers” as a **Conditional Use** with related regulations pertaining to standards and requirements in the Rural Residential Zoning District
- **Chapter 180, Subdivision and Land Development:** Include a threshold for the requirement to submit a Traffic Impact Study as it applies to development proposals
- **Chapter 200, Zoning:** Update **Definitions** to include Data Centers, Data Centers (Accessory Use), and Utility Facility; amend **Temporary Uses** to adjust permit length for Mobile Food Vendors – **Resolution R-26-09** with updated fees applies; include an option for a reduction in parking requirements when partnering with local transit authorities

Ms. Trainor acknowledged public comments received via email from Mr. Jaeson Koszarsky, Patton Township resident, and Ms. Dorothy Blair and Mr. Daniel Alters, Harris Township residents, with comments related to Data Centers.



Mr. Bloom offered clarification on adding Data Centers as a Conditional Use. He noted this is a preemptive measure to proposed legislation State Senate Bill 939 and currently, they are permitted as a use by right. The proposed Conditional Use will grant the Township more review time to apply conditions to a proposed development. Additionally, he noted there is no indication of a proposed Data Center within CT, and there is no solicitation for one.

Mr. Bernier made a motion to approve Ordinance O-26-02 to amend Chapter 87 Conditional Uses to include Data Centers; Chapter 180 Subdivision and Land Development to include a threshold for traffic impact study requirements; and Chapter 200 Zoning to include definitions, an incentive to reduce parking, and increase the timeframe for mobile food vendors.

**Ms. Mariner seconded the motion.
 Motion carried unanimously.**

Ms. Mariner made a motion to approve Resolution R-26-09 to update fees in A203-7 Soliciting and Temporary Businesses in relation to the Ordinance changes to Zoning Chapter 200-41 Temporary Uses, (A) Temporary Uses Permitted, (10) Mobile Food Vendors.

**Mr. Bernier seconded the motion.
 Motion carried unanimously.**

NEW BUSINESS: NB-1 Proposal for Identifying State-Wide Municipal Funding

Mr. Brumbaugh offered a memorandum dated February 16, 2026, outlining a regional effort to expand local government revenues to help in alleviating ongoing budget shortfalls.

He noted State College Borough has been working with a consulting firm, Allegheny Strategy Partners (ASP), to research and identify potential revenue sources in the Centre Region. This research would serve as the basis for engaging members of the PA Legislature for required legislative changes. The proposal is specific to the Centre Region municipalities and focuses on financial impacts of a multi-event destination, with particular regard to public safety impacts.

Mr. Brumbaugh stated there are four (4) municipalities that are considering participating and they would split the associated cost for ASP's research: State College Borough, Patton, Ferguson, and College Townships. The cost has been calculated in a pro-rated formula based on the number of liquor licenses in each respective municipality. He noted Phase I of the proposed scope of work would start in April 2026 and should be completed in six (6) months. The anticipated cost to CT is approximately \$500-\$600 a month for the Phase I work. Phase II would consist of lobbying the PA Legislature at a likely increased monthly cost.

Mr. Bernier made a motion directing the Township Manager to participate in the Local Government Revenue Innovation and Sustainability Plan through Phase I.

**Ms. Mariner seconded the motion.
 Motion carried unanimously.**



NB-2 Fly State College Fund Contribution

Mr. Brumbaugh offered an email from Mr. Gregory Scott, President of the Chamber of Business & Industry of Centre County (CBICC), requesting financial support of the Fly State College Fund. This effort is aimed at expanding air service options at the State College Regional Airport (SCRA) and is a critical economic development priority in the Centre Region.

He noted Legacy Airlines is currently in discussions with the SCRA about adding flight service to Charlotte, NC. The fund now includes twenty-five (25) contributors with pledges totaling more than \$140k. Financial and community support along with passenger data is considered when airlines make decisions about service.

Council is asked to consider a \$10k contribution to the fund.

Discussions occurred about rail transit and connections to Amtrak. Mr. Bernier noted the Centre County Metropolitan Planning Organization (CCMPO) received a planning grant to study this topic. Ms. Trainor requested Staff update the CT website to provide a link to the CCMPO transportation survey.

Ms. Mariner made a motion to authorize the Township Manager to execute an agreement and contribute \$10k to the Fly State College Fund.

Mr. Francke seconded the motion.

Motion carried unanimously.

STAFF

INFORMATIVES:

- SI-1 February 2026 EZP Update
- SI-2 January 2026 OEO Report
- SI-3 Traffic Signal Reports
- SI-4 CBICC Legislative Breakfast

Ms. Trainor noted the PA Municipal League (PML) district meeting will be held on March 11, 2026 in Johnstown, PA from 11:30 AM until 1:30 PM.

COUNCIL/STAFF OTHER MATTERS: No *Other Matters* were brought forward.

ADJOURNMENT:

Chair Trainor called for a motion to adjourn the meeting.

Ms. Mariner moved to adjourn the February 19, 2026 Regular College Township Council meeting.

Mr. Bernier seconded the motion.

The February 19, 2026 Regular College Township Council meeting was adjourned at 8:50 PM.

Respectfully Submitted,

Draft

Adam T. Brumbaugh
Township Secretary/Manager



CA-2.a.



3075 Enterprise Drive
State College, PA 16801
PennTerra.com | 814-231-8285

February 18, 2026

College Township Council
Attn: Sharon Trainor, Chair
1481 East College Avenue
State College, PA 16801

RECEIVED
FEB 18 2026
College Township
ENGINEERING DEPARTMENT

Re: Crew 814 PRD Phase 1 Final Plan (PTE # 22301)

Dear Council,

On behalf of our Clients, Burkentine Builders, Developers of Crew 814, we are respectfully requesting a 90-day time extension for recording of the plan of the above referenced project.

We are awaiting outside approvals for this project.

The request would extend the recording deadline to June 16, 2026.

If anything, else is needed to consider, please do not hesitate to contact me directly at 814-231-8285, extension 346, or by e-mail at rflinchbaugh@PennTerra.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Bob Flinchbaugh".

Bob Flinchbaugh
Project Manager

Cc:22301



Fwd: Potential Ordinance to Regulate Single Use Plastics - Additional Item

From JOHN FERGUSON <jferg912@comcast.net>

Date Thu 2/26/2026 11:19 AM

To CTCouncil <ctcouncil@collegetownship.org>

Cc admin@crcog.net <admin@crcog.net>; ccrra@centrecountyrecycles.org <ccrra@centrecountyrecycles.org>; greg@cbicc.org <greg@cbicc.org>; tdolbin@cbicc.org <tdolbin@cbicc.org>

Dear CT Council:

As with CT building, signage, etc. ordinances which apply to Penn State University and others, the potential single use plastics ordinance proposed shall be equitable in its application versus carving out exceptions. Doing so would support your DEIB efforts within CT by demonstrating a holistic approach in its application versus discriminating against the single use plastic bag industry.

If you ultimately decide to exclude one industry to target and punish such as single use plastic bags and remain equitable, would not Penn State's great leadership to provide single use plastic bags for trash and recyclables on reels throughout tailgating areas for football would have to cease under such an ordinance? If not, why? Additionally, would not all single use plastic cups for beverages, silverware, plates, plastic bags, etc. being brought in by tailgaters and used by Penn State for consumables(soda, food, etc.) would have to be banned too? If not, why? The ordinance would not only apply to football games but all athletic events, concerts, etc.

What's your plan and alternative to apply this historic potential ordinance on single use plastic bags at Spring Creek Park, or any other Park in the Centre Region to clean up after your pet? I applaud the pet single use plastic bag stations at those locations and those who pick up and dispose of the waste in the trash receptacles.

I could go on with imagining how this equitably applied potential single us plastics ordinance would impact Mt. Nittany Medical Center, restaurants, etc. However, I know with you and other municipal esteemed leaders involved in this matter will continue to dedicate our hard-earned tax dollars and staff time with benefits to this noble cause.

Sincerely,

John

----- Original Message -----

From: JOHN FERGUSON <jferg912@comcast.net>

To: "ctcouncil@collegetownship.org" <ctcouncil@collegetownship.org>



Outlook

Potential Ordinance to Regulate Single Use Plastics

From JOHN FERGUSON <jferg912@comcast.net>

Date Fri 2/20/2026 1:09 PM

To CTCouncil <ctcouncil@collegetownship.org>

Cc admin@crcog.net <admin@crcog.net>; ccrra@centrecountyrecycles.org <ccrra@centrecountyrecycles.org>; greg@cbicc.org <greg@cbicc.org>; tdolbin@cbicc.org <tdolbin@cbicc.org>

Dear CT Council:

Please accept this email in opposition to the above subject, in particular expending \$35,000.00 tax dollars for any "professional consultant". While I appreciate the virtue signaling on behalf of those involved, this topic has been debated and studied in ad nauseam(just perform any engine search).

I offer the following recommendations for your consideration:

1. CT elected officials and administrative leadership(director & manager level) contribute evenly out of their private wealth to fund the \$35,000.00 consultant fee.
2. COG General Forum/elected officials(excluding Halfmoon Twp. and Harris Twp.), COG and municipal administrative leadership(director & manager level) contribute evenly from their private wealth to fund the \$35,000.00 consultant fee. This will spread the expense to more leaders supporting this subject.
3. Utilize a student or classroom team attending a "local" higher education institution, i.e., Juniata, any PA State University(Lock Haven, etc.), Penn Highlands Community College, Penn State(Altoona or Main Campus), St. Francis, etc. to be the "consultant. Provide them with SMART goals which present the pros and cons of **both** sides of this issue in a non-biased manner. Depending on the presentation produced, the higher ed institution will be presented **up to** \$5,000.00 to a existing endowed college scholarship in Public Administration, etc. What a way to create a win-win!
4. Appoint from each municipality involved an employee to be part of a team to research the matter and prepare a report based on SMART goals set by a chairperson to represent the team. The team should research the pros and cons, report them unbiased and account for expenses incurred in labor and material. What a great way to develop your people!
5. Utilize common sense educational outreach on recycling or use which is tied into existing publications by stakeholders without spending additional tax dollars to do so.
6. Conduct a public hearing(s) in the evening to hear feedback from the electorate before moving forward with any adoption of a potential single use plastic ordinance.
7. Recommending those municipalities & COG officials supporting this effort meet with Hilex Poly/[Novolex](#) officials at their Milesburg facility to gain their perspective and knowledge on this subject. Request at this meeting for them to provide their complete economic impact to Centre County.
8. Redeploy resources into other common sense public safety, infrastructure and quality of life issues in the Centre Region/County.

While I fully support recommendations 1&2, I can acquiesce to supporting recommendations 3-8.

How can any Centre Region administrative or elected leadership support targeting and punishing an industry and its employees who contributes economically, etc. to the vitality of Centre County such as Hilex Poly? CT's leader support of this issue is puzzling to me considering CT and its Manager are members and a Board member respectfully of the CBICC, "Centre County's leading economic-development organization and business advocate". I encourage all to read CBICC's "Who We Are" section within their website. Thereafter, discuss the potential ethical dilemma of being a member of the CBICC while targeting and punishing an industry within Centre County as it pertains to this potential ordinance. Would not the same ethical dilemma apply to State College Borough, its Manager, Ferguson Twp., Patton Twp. and COG as members of CBICC? Imagine if Helix Poly was located in the municipalities proposing this potential ordinance. An administrative or elected leader's spouse is the Plant Manager and bread winner of their family. You as the municipal administrative or elected leader come home and tell them at the kitchen table you are supporting a single use plastic ordinance targeting specifically plastic bags. How do you think that conversation will be received?

Again, I commend the virtuous efforts of those involved. I'm recommending all involved in this issue to walk into any Centre Region retail department store and look around. The majority of products sold are made of some form of plastic. The majority of consumables are stored in plastic bags or containers. Plastic is also used for storing non-consumables and in most products sold within the stores. A majority of those products are labeled using a plastic shrink-wrapped product as well. Why just target single use plastic bags with this ordinance except for virtue signaling? I think all involved would demonstrate strong leadership by going "big or go home" by targeting **all** single use plastic products, i.e. plastic cups, straws, utensils, large trash bags, hygiene products, etc. through the potential ordinance. Who from this esteem leadership group does not use 13 gallon or larger single use plastic bags for their personal garbage? If yes, please educate the electorate on what would be the alternative if banned by the potential ordinance. If no, please explain why not. I'll be fully transparent that I use single use 13 gallon plastic bags for my main can(s) and small single use plastic bags for liners within trash cans in rooms for weekly trash collection. The balance of single use plastic bags I recycle.

Before anyone makes a conscious or non-conscious bias regarding my opinions above, while not innocent by any means as reported above in being transparent on using plastic bags myself, I can assure you I have and will continue to seek improvement in my environmental stewardship. Any insight which can be sent to me from those advocating the approval of the above subject is appreciated. The information will help further educate me on improving my environmental stewardship. Additionally, please forward the project ID in your work management system to refer to with project scope with metrics, project cost estimates for labor, material, etc., project economic valuation completed and actual charged expenses year-to-date.

Sincerely,

John Ferguson
CT Resident



February 23, 2026

Received
FEB 26 2026
College Township

College Township
Adam Brumbaugh
1481 E College Ave
State College, PA 16801-6815

Dear Adam,

Thank you for supporting First Night State College. Your sponsorship brings magic to our community!

The dazzling ice sculptures at First Night State College never fail to captivate visitors and locals alike, creating unforgettable moments as everyone comes together to ring in the New Year. Thanks to sponsors like you, these works of art carved from crystal-clear ice transform our downtown into a winter wonderland each year.

We are thrilled that your sponsorship of a one-block ice sculpture for First Night 2027 will help continue this cherished tradition, drawing people of all ages to celebrate the promise and possibilities of the New Year.

On behalf of the Board of Directors, staff, and volunteers who work year-round to produce First Night State College and the Central Pennsylvania Festival of the Arts, thank you for your generous contribution of \$400. Your support is vital to making this event memorable for thousands of attendees.

If you and your team would like to get even more involved in this year's festivities, we would love to hear your ideas and welcome your team as volunteers.

We are deeply grateful for your sponsorship—because of you, First Night State College 2027 will shine even brighter.

With sincere appreciation,

Jennifer Shuey
Director of Development

All my best!
♡

First Night State College
Central Pennsylvania Festival of the Arts

P.O. Box 1023 ▶ State College, PA 16804 ▶ (814) 237-3682 ▶ Fax (814) 237-0708
firstnightstatecollege.com ▶ arts-festival.com ▶ office@arts-festival.com

**COLLEGE TOWNSHIP
CENTRE COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-26-10

A RESOLUTION OF THE COLLEGE TOWNSHIP COUNCIL AUTHORIZING THE DECOMMISSIONING AND DISPOSITION OF OBSOLETE TABLET DEVICES

WHEREAS, College Township previously issued tablet devices (iPads) to members of Township Council and Staff for official municipal use; and

WHEREAS, these devices have reached the end of their useful life, are no longer supported by the manufacturer with current operating system and security updates, and no longer meet the operational and cybersecurity standards of College Township; and

WHEREAS, due to their age and condition, the devices have minimal to no resale or trade-in value; and

WHEREAS, College Township desires to remove these devices from service in a manner that ensures all Township data is securely erased and that the equipment is disposed of in an efficient and practical manner; and

WHEREAS, permitting the reassignment of such decommissioned devices for salvage purposes, after proper data removal, represents a cost-effective and administratively efficient method of disposition.

NOW, THEREFORE, BE IT RESOLVED by the Council of College Township, Centre County, Pennsylvania, as follows:

1. Declaration of Obsolescence.

The existing Council-issued iPads are hereby declared obsolete, surplus to municipal needs, and authorized to be removed from active service.

2. Data Removal and Security.

Prior to disposition, Township staff or its designated information technology provider shall:

- Perform a complete factory reset of each device;
- Remove all Township accounts, mobile device management profiles, and security configurations; and
- Verify that all municipal data has been permanently erased in accordance with Township records management and cybersecurity practices.

3. Update of Asset Records.

The devices shall be removed from the Township's fixed asset inventory and accounting records in accordance with standard administrative procedures.

4. **Disposition of Equipment.**

Following proper data removal, the devices may be released to the individual Council or staff members who were assigned the devices, if they wish to retain them, or otherwise recycled or disposed of in accordance with applicable electronic waste guidelines.

5. **Transfer “As-Is.”**

Any devices retained by Council members shall be conveyed in their existing condition, “as-is,” with no warranty, technical support, or continuing responsibility by College Township.

6. **Authorization to Implement.**

The Township Manager, or designee, is authorized to take all actions necessary to implement this Resolution and to document the final disposition of the devices.

DULY ADOPTED this 5th day of March, 2026, by the Council of College Township, Centre County, Pennsylvania.

Susan Trainor, Council Chair

ATTEST:

Adam T. Brumbaugh, Township Manager/Secretary

Request Letter

February 25, 2026

To: College Township Council

From: Eric & Karen Stoner, Owners Classic Cones Ice Cream Truck

Subj: Request for Waiver §200-41 TEMPORARY USES (10) Mobile food vendors (d) [2] which prohibits audio amplification and §200-41 TEMPORARY USES (10) Mobile food vendors (h) Use of public rights-of-way 2026

Dear College Township Council,

We hope this message finds you well. We are writing to respectfully request a waiver for our mobile ice cream truck to play music during the hours of operation throughout the 2026 calendar year, as permitted under the current Zoning regulations.

As a mobile ice cream vendor, we play music from the truck to alert local residents that we are in the area, creating a nostalgic and community-friendly experience. The music is an important part of our service, helping customers easily locate us and creating a positive atmosphere for those in our vicinity.

We acknowledge the Township's regulations regarding sound and music, and we are requesting this waiver in good faith to allow us to continue operating with the music during our business hours. We are committed to ensuring that the music volume remains at a respectful level, minimizing any potential disruptions to the surrounding neighborhood.

We appreciate your consideration of our request and look forward to a favorable response.

Thank you for your time and attention to this matter.

Sincerely,



Eric Stoner

Classic Cones



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council
From: Lindsay K. Schoch, AICP | Principal Planner
Thru: Keri Kenepf, Community & Economic Development Director
RE: Sign Ordinance Update: Stadiums, Arenas, and Event Centers
Date: March 2, 2026

Purpose and Background

Since fall 2025, College Township Council, the Planning Commission, and staff have been engaged in discussions regarding potential updates to the Township's sign ordinance, with particular attention to illuminated and digital signage. These discussions have focused on the unique operational characteristics of large venues such as Stadiums, Arenas, and Event Centers, and the need to balance operations with community impacts related to light.

During the most recent Council discussion, Council directed staff to consult with a lighting expert, gather additional technical and policy guidance, and return with findings and potential regulatory approaches for Council's consideration.

Expert Consultation and Materials Reviewed

In response to Council's direction, staff consulted with **Jonathan Walker, P.E., LC**, a College Township resident and Lighting/Electrical Engineer at Penn State University. Mr. Walker provided feedback based on his professional expertise and personal experience with outdoor lighting. His input is offered independently and does not represent an official position of Penn State University.

Attached for Council's review are the following materials provided by Mr. Walker:

- Suggestions for updates to College Township's sign ordinance, with a focus on illuminated and digital signage at Stadiums, Arenas, and Event Centers
- *DarkSky International – Outdoor Lighting: Illuminated Signage Supplement* (October 11, 2024)
- *DarkSky International – Outdoor Lighting Municipal Ordinance Template and User Guide* (October 11, 2024)
- How does Light Impact Human Health and the Environment and What are the Current Recommendations for Responsible Outdoor Lighting?

These materials are intended to inform potential ordinance refinements and provide nationally recognized best practices related to outdoor lighting.

Key Ordinance Concepts Identified

1. Definition of “Event”

Mr. Walker recommends clearly defining what constitutes an “Event” for purposes of illuminated signage. This difference is important given the range of activities that may occur at large venues, including:

- Major athletic or performance events, including limited preparation activities
- Facility tours or showcases for small groups
- Routine business operations occurring within portions of a large facility (e.g., gift shops, museums, restaurants, conference rooms, or hospitality venues)

2. Differentiation Between Event and Non-Event Operations

Large venues often function as multi-use facilities. Distinguishing between illumination associated with a major event and illumination during normal business operations would allow signage regulations to better reflect real-world use while maintaining appropriate limits.

3. Lighting Standards and Measurement

Mr. Walker recommends referencing the *DarkSky International Illuminated Signage Supplement* for terminology, performance metrics, and measurement standards related to illuminated signage.

Regulatory Approaches for Council Consideration

Based on the above concepts, Mr. Walker outlined two potential regulatory approaches:

Approach	Overview	Implications
Approach A	Retains the Planning Commission and staff’s original proposal, while adding clearer definitions for “Event” and “Nighttime Hours” and refining permitted illumination hours. Pre- and post-event preparation would not be included as part of the event itself.	- Incorporates Mr. Walker’s input into the current draft ordinance

Remains consistent with the original task and scope | Applies specifically to Stadiums, Arenas, and Event Centers

Approach	Overview	Implications
Approach B	Narrows permitted illumination windows (e.g., limiting illumination to defined hours before and after events) and more fully incorporates the DarkSky Illuminated Signage Supplement	Updates lighting regulations for all permanent signs Township-wide

Expands beyond Stadiums, Arenas, and Event Centers | Addresses the zoning change request and broader lighting policy objectives |

Lighting, Public Health, and Environmental Considerations

The DarkSky International and the information regarding Light Impact and Human Health and the Environment materials provided by Mr. Walker directly respond to concerns previously raised by Council and residents regarding nighttime lighting impacts. In particular, the *Five Principles for Responsible Outdoor Lighting* provide a framework that connects lighting regulation to public health and environmental outcomes, the Principles are noted below and expanded upon in the attachments:

1. **Use light only when it is needed** – reducing unnecessary nighttime exposure
2. **Direct light only where it is needed** – minimizing glare and light trespass into homes
3. **Use the lowest light level necessary** – reducing disruption to sleep cycles and visual comfort
4. **Control lighting duration** – limiting prolonged exposure during late-night hours
5. **Use warmer color temperatures when possible** – reducing blue-rich light that can interfere with circadian rhythms

Mr. Walker has also expressed interest in assisting with a future review of the Township's broader outdoor lighting standards to assess consistency with DarkSky International policies and best practices.

Next Steps

Council is asked to review the attached materials and discuss preferred directions regarding potential ordinance updates. Based on Council's guidance, staff will proceed with drafting revisions consistent with the selected approach and return with updated ordinance language for further review.

Suggestions for College Township’s Ordinance on Signs, especially related to illuminated/digital signs at Stadiums, arenas, and event centers

2/5/2026 | Jon Walker

The following suggestions are based on my personal/professional experience with outdoor lighting and an eye for clarity – but my suggestions don’t necessarily represent Penn State’s official position, for example.

Reference documents:



The Illuminating Engineering Society and DarkSky jointly developed the Five Principles for Responsible Outdoor Lighting. DarkSky further developed:



DarkSky

1. “Outdoor Lighting – Municipal Ordinance Template”
2. “Outdoor Lighting – Illuminated Signage Supplement”

A few comments on these documents:

1. “Outdoor Lighting – Municipal Ordinance Template” – As we discussed, I am interested in helping College Township in the future on revising the existing lighting ordinance. This template is a good starting point, but, if considered, should be tweaked for College Township context. This is a separate topic, but I’ve attached it for reference.
2. “Outdoor Lighting – Illuminated Signage Supplement”

This template could perhaps be useful for College Township in general, but it doesn’t address two things I think are important:

- a. Stadiums, arenas, and event centers
- b. What counts as an “event”

Suggestions to consider:

1. **Suggestion #1: Consider defining “event”.** The College Township draft wording says “[3] illuminated/digital signs may only be illuminated 12 hours prior to the start and 12 hours following conclusion of an event at the venue.” **I think stadium, arena, and event center owners may define “event” differently than what College Township has in mind.** For example, it’s conceivable an owner may consider an “event” to mean:
 - A series of preparation events in the days ahead of a major athletic or performance event
 - A showcasing of the facility itself to a small group
 - Normal business events in a small part of a large facility. For example, if a large stadium, arena, or event center has the following kinds of spaces:
 - Gift shop, museum, restaurant, small conference rooms, hospitality venue
2. Suggestion #2: Consider that large stadiums, arenas and event centers are complicated facilities. They have “large events” where thousands or tens of thousands of people attend.

But they may have smaller venues built in (like gift shop, museum, restaurant, etc.) or even just administrative/office occupancy uses that have normal business hours even when there is not a “large event” happening. **Is there a way to differentiate these uses as it relates to illuminated signage?** For example, could small signs related to the gift shop, museum, restaurant, etc. entry area be illuminated during normal business hours (but no later than, say, 10pm on normal business days)?

3. Suggestion #3: **Consider leaning on the “Outdoor Lighting – Illuminated Signage Supplement” wording and metrics.**

I like how this supplement is concise (2 pages) and easily verifiable (measuring the light levels caused by the illuminated sign). Approach B, below, is based on this supplement.

Approaches to consider:

All this considered, I’ve developed a two Approaches for consideration. ***Black italicized text*** = original proposed wording. **Red text and strikethrough** = modifications. **Blue text** = rationale/comments. **[brackets]** = options to choose from, and possible added wording. **Green text** = modifications directly quoted from the DarkSky template.

Approach A:

Keep most of College Township’s proposed wording but adjust to align with DarkSky’s definition of nighttime hours, and consider Suggestion #1.

[1] allowable signage may be increased by 10% for each 5,000-person occupancy not to exceed 150% of base sign allowance.

[2] illuminated/digital signs are limited to no more than base allowance.

[3] illuminated/digital signs may only be illuminated ~~12 hours prior to the start and 12 hours following conclusion of an event at the venue~~ on the event day no earlier than sunrise and no later than 10 PM or one hour after the event ends.

[Pre-event setup and Post-event festivities and cleanup are not considered part of the event.]

[Event, for the purposes of this section, is defined as the main performance or athletic competition] [where the facility is occupied to a minimum of [5%] of the maximum allowable occupancy of the facility.]

[Where the stadium, arena, or event center contains a smaller occupancy group (e.g. shop, museum, restaurant, office) with normal business hours, the associated illuminated/digital signage larger than 20 square feet may only be illuminated while the associated business or activity is taking place, and must otherwise extinguish during *Nighttime Hours*. Nighttime Hours, for the purpose of this section, is defined as the time between [10 PM] and sunrise, or 7 AM (whichever comes earlier). For businesses and events with operating hours later than [10 PM], nighttime hours will begin one hour after closing.]

[end]

Approach B:

Remove [3] from 170.11.C(1)(d) and rework 170-12 to lean heavily on DarkSky's "Outdoor Lighting – Illuminated Signage Supplement". Keep some of the original College Township 170-12 wording that doesn't conflict with the DarkSky approach, and include some of the stadium/arena/event center content.

170.11.C(1)(d)

[1] allowable signage may be increased by 10% for each 5,000-person occupancy not to exceed 150% of base sign allowance.

[2] illuminated/digital signs are limited to no more than base allowance.

[3] illuminated/digital signs may only be illuminated 12 hours prior to the start and 12 hours following conclusion of an event at the venue

170-12 Electronic or digital signs

All permanent signs contained within Article III shall be permitted to contain an electronic or digital sign face with the following additional regulations:

- A. Nighttime Hours, for the purpose of this section, is defined as the time between [10 PM] and sunrise, or 7 AM (whichever comes earlier). For businesses and events with operating hours later than [10 PM], nighttime hours will begin one hour after closing.
- B. Illuminated Signage. The following requirements are supplementary to the municipal sign code requirements and the General Outdoor Lighting Requirements (Section 2.1 and its subsections) to further regulate outdoor illuminated signage.
 - (1) On-premise signage larger than 20 square feet may only be illuminated while the associated business or activity is taking place, and must otherwise extinguish during *Nighttime Hours*.
 - (2) Illumination for off-premise signage (e.g., advertising billboard) is prohibited. ~~Illuminated off-premise signage (e.g., advertising billboard) is prohibited from having line-of-sight to Residential Use zone districts and school campuses. Unless otherwise specified in this ordinance, illuminated off-premise signage is prohibited from operating during Nighttime Hours.~~
 - (3) The maximum luminous or illuminated surface area of an individual sign must not exceed 27.9 square meters (300 square feet).
 - (4) Static signage may be illuminated externally, internally, or backlit, provided the light source itself is not directly visible from the public right-of-way or adjacent property.
 - (5) External illumination of static signage shall be mounted above the sign and directed downward.
 - (6) The highest light level of any illuminated sign (as measured with an all-white display for electronic signs) shall not exceed 3 lux (0.28 footcandles) more than the ambient lighting conditions (defined here as not including non-essential, decorative, or other sign sources of light) as measured within 15 degrees of perpendicular (both horizontal and vertical) from the distances in Table 2.5. Illuminated signs that cannot be measured using an illuminance meter shall not exceed a luminance of 100 nits (100 candelas per square meter, cd/m²).

TABLE 2.5: ILLUMINATED SIGN MEASUREMENT DISTANCE			
Area of Sign (sq. ft.) ^[1]	Measurement Distance (ft.)	Area of Sign (sq. ft.) ^[1]	Measurement Distance (ft.)
10	32	65	81
15	39	70	84
20	45	75	87
25	50	80	89
30	55	85	92
35	59	90	95
40	63	95	97
45	67	100	100
50	71	150	125
55	74	200	150
60	77	300	175

[1] For signs with an area other than those specifically listed in this table, the measurement distance may be calculated with the following formula: Measurement Distance (ft) = square root of [Area of Sign (sq. ft.) x 100]

- C. Additional requirements for electronic signage are as follows:
- (1) Electronic signs shall have automatic dimming controls to properly adjust the sign luminance according to ambient conditions, including nighttime. Should an electronic problem prevent normal function, the sign shall default to night-mode or remain unlit.
 - (2) Excluding trademark logos, electronic messages shall be positive-contrast (i.e., light-colored fonts and features on a dark background) and shall contain no more than 35% white area within the displayed image.
 - ~~(3) Unless otherwise allowed by law or specified within this [ordinance], electronic messages shall not change more often than every 8 seconds. Video and motion effects are prohibited.~~
- D. Sign display/message. The display or message of all electronic or digital signs shall be regulated as follows:
- ~~(1) The display or message shall remain static or unchanged for a length of time to limit the number of displays or messages seen by motorists passing by. The formula and table below shall determine the time that the message stays static or unchanged.~~
 - ~~(a) Formula: Distance in which a sign is visible, divided by the speed limit of adjacent street in feet per second. For purposes of this formula, 1,200 feet shall be used in calculation of visibility distance. The table below provides the minimum duration of messages for select speed limits:~~

Speed Limit (mph) of Adjacent Street	Minimum Duration of Individual Display/Message (seconds)
--------------------------------------	--

35	23
45	18
55	15

- (2) Unless otherwise allowed by law or specified within this [ordinance], electronic messages shall not change more often than every 8 seconds. Video and motion effects are prohibited. The display or message of any electronic or digital sign shall not or shall not appear to scroll, flash, undulate, pulse or portray explosions, fireworks, flashes of light or blinking or chasing lights; the display shall not appear to move toward or away from the viewer, expand or contract, bounce, rotate, spin, twist or otherwise portray movement or animation as it comes onto, is displayed on or leaves the sign board. **Electronic or digital signs associated with Stadiums, Arenas, and Event Centers may be exempt from the above display time regulations in §170-12A(1) if the display or message is facing a public street during a time that public street is closed to thru traffic for purposes related to the event.**
- (3) Electronic or digital signs shall be exempt from the above display time regulations,
 § 170-12A(1) if it is part of a drive-through menu board of which the display or message is that of a customer's order and the sign is not legible or visible from the public right-of-way.
- E. Location. Electronic or digital signs shall only be permitted in the Commercial, Industrial, and **University Planned District Zoning** Districts as defined by § 200-8, Districts established.
- F. Size. The area of a sign face on an electronic or digital sign shall be restricted as follows:
- (1) Freestanding signs that contain an electronic or digital sign face shall not have a sign area larger than that permitted in § 170-10B or § 170-10F.
 - (2) Building signs that contain an electronic or digital sign face shall be limited in size to no greater than 50% of the total permissible sign area permitted in § 170-11C.
- G. Upon written request from the College Township Zoning Officer, the electronic or digital sign owner shall have the sign tested to determine if it does not exceed the acceptable brightness levels for daylight and night time operation.
- ~~H. Brightness. All electronic or digital signs shall be equipped with automatic brightness level controls to reduce light levels at night, and under cloudy or other darkened conditions in~~

accordance with the following:

- ~~(1) All electronic or digital signs shall have installed ambient light monitors and shall at all times allow such monitor to automatically adjust the brightness level of the electronic or digital sign based on ambient light conditions so as to minimize and keep consistent sign brightness.~~
 - ~~(2) The maximum brightness levels for such signs shall not exceed 5,000 nits when measured from the sign's face at its maximum brightness during daylight hours.~~
 - ~~(3) The maximum brightness levels for such signs shall not exceed 500 nits when measured from the sign's face at its maximum brightness between sunset and sunrise, as those times are determined by the National Weather Service.~~
 - ~~(4) Written certification from the sign manufacturer must be provided at time of sign permit application certifying that the light intensity of the sign has been preset not to exceed the illumination levels established by this section, and that the preset intensity level is protected from end user manipulation by an approved method such as password protected software.~~
- ~~I. All electronic or digital signs shall contain a default design that will freeze the device and/or message in one position with no more than a maximum illumination of 500 nits if a malfunction occurs.~~

[end]



DarkSky International Policy

Outdoor Lighting – Illuminated Signage Supplement

October 11, 2024 – Version 1.0

1.1 Illuminated Signage

[Illuminated signage at night is a choice. When municipalities allow illuminated signage, the municipality must have a baseline municipal sign code that includes a permit process to address: applicability, prohibited areas, design criteria, construction methods, clearances, installation locations, and quantity and/or density. Of note, the baseline sign requirements may prohibit certain types of signage. For example, four states in the U.S. prohibit all off-premise signage (e.g., advertising billboards) and many cities ban new billboards (either static or digital) or include restrictions such as amortization, cap-and-replace models, and digital exchange ratios greater than 6:1.]

A. The following requirements are supplementary to the municipal sign code requirements and the General Outdoor Lighting Requirements (**Section 2.1** and its subsections) to further regulate outdoor illuminated signage.

1. On-premise signage larger than 20 square feet may only be illuminated while the associated business or activity is taking place, and must otherwise extinguish during *Nighttime Hours*.
2. *Please choose one of the following paths for municipal requirements:]*
 - Illumination for off-premise signage (e.g., advertising billboard) is prohibited.
 - Illuminated off-premise signage (e.g., advertising billboard) is prohibited from having line-of-sight to *Residential Use* zone districts and school campuses.

Unless otherwise specified in this ordinance, illuminated off-premise signage is prohibited from operating during *Nighttime Hours*.
3. The maximum luminous or illuminated surface area of an individual sign must not exceed 27.9 square meters (300 square feet).
4. Static signage may be illuminated externally, internally, or backlit, provided the light source itself is not directly visible from the public right-of-way or adjacent property.

5. External illumination of static signage shall be mounted above the sign and directed downward.
6. The highest light level of any illuminated sign (as measured with an all-white display for electronic signs) shall not exceed 3 lux more than the ambient lighting conditions (defined here as not including non-essential, decorative, or other sign sources of light) as measured within 15 degrees of perpendicular (both horizontal and vertical) from the distances in **Table 2.5**. Illuminated signs that cannot be measured using an illuminance meter shall not exceed a luminance of 100 nits (100 candelas per square meter, cd/m²).

TABLE 2.5: ILLUMINATED SIGN MEASUREMENT DISTANCE			
Area of Sign (sq. ft.) ^[1]	Measurement Distance (ft.)	Area of Sign (sq. ft.) ^[1]	Measurement Distance (ft.)
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45	67	100	100
50	71	150	125
55	74	200	150
60	77	300	175

[1] For signs with an area other than those specifically listed in this table, the measurement distance may be calculated with the following formula: Measurement Distance (ft) = square root of [Area of Sign (sq. ft.) x 100]

- B.** Additional requirements for electronic signage are as follows:
1. Electronic signs shall have automatic dimming controls to properly adjust the sign luminance according to ambient conditions, including nighttime. Should an electronic problem prevent normal function, the sign shall default to night-mode or remain unlit.
 2. Excluding trademark logos, electronic messages shall be positive-contrast (i.e., light-colored fonts and features on a dark background) and shall contain no more than 35% white area within the displayed image. *[Positive-contrast (light-on-dark) messages are more legible, and legible at greater distances (as much as one-third greater), than negative contrast (dark-on-light) messages. In addition, the increased light emitted by negative-contrast messages may overwhelm the darker features.]*
 3. Unless otherwise allowed by law or specified within this **[ordinance]**, electronic messages shall not change more often than every 8 seconds. Video and motion effects are prohibited. *[As designed, off-premise signage attracts driver attention (sometimes involuntarily as the eye detects brightness) with video and motion attracting longer and more frequent glances.]*

END OF TEMPLATE



DARKSKY POLICY TEMPLATE: TERMS OF USE

By downloading this document, you have agreed to the following:

The International Dark-Sky Association, dba DarkSky International (“DarkSky”), is a 501c(3) nonprofit organization that works to raise awareness about the negative impacts of light pollution and preserve the nighttime environment through public education, conservation, and the certification of environmentally responsible outdoor lighting.

To further these goals, DarkSky has developed DarkSky Policy Templates (“DarkSky Templates”, or “Templates”) which provide particular provisions to be adopted by a municipality, village, city, county, state, province, or other government entity (“Government Entity”). When implemented, these provisions help mitigate light pollution and protect dark skies while maintaining illuminated conditions in accordance with appropriate standards. Upon incorporating the Template provisions into law in the Government Entity statutes (codes, standards, ordinances legislation, etc), the Government Entity may apply to have their final adopted language reviewed by DarkSky International for conformance, and, if approved, become “DARKSKY RECOGNIZED.”

DarkSky makes these Templates publicly available for download and use subject to these Terms of Use (“Terms”). Please read these Terms carefully to ensure you understand and comply with them in the use of the Templates.

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1. **Format.** Upon agreeing to these Terms, you may download the DarkSky Templates in either a PDF or Word version. The PDF version must not be altered and used only as an official version from DarkSky; the Word version is provided as an editable document to more easily incorporate the provisions into other statute formats subject to these terms.
2. **Use of DarkSky Templates and Designation.** You are free to use the Templates for incorporating the provisions contained therein into your local or regional statutes, however you may not use the DARKSKY RECOGNIZED designation unless authorized by DarkSky as provided for in Paragraph 3.
3. **Approval for DARKSKY RECOGNIZED status.** You may, for a fee and as instructed on the darksky.org website, submit draft versions of your proposed statutes to DarkSky for review and comment prior to final adoption. Upon receipt, and in due course, DarkSky will review the proposed version. DarkSky will designate statutes as DARKSKY RECOGNIZED only for final adopted statutes. Proof of final adoption must be submitted, including 1) final adopted language and 2) proof of adoption including official minutes confirming the adopted language. Any change to DARKSKY RECOGNIZED statutes must be recertified by DarkSky through this same process; changes made without DarkSky review and approval will have this designation revoked by DarkSky International.
4. **Representation of DarkSky International.** You may not represent yourself as a DarkSky International representative or agent at any time when advocating for the use of these Templates without the express written consent and approval of DarkSky International. If you modify the Templates in any way, you may not represent the altered document as a DarkSky approved document; only the unaltered PDF versions of the DarkSky Templates can be referred to as DarkSky approved Templates.

GENERAL TERMS

5. **Acknowledgement.** Upon downloading any version of the DarkSky Templates, you acknowledge that you have read, understood, and agreed to all terms contained herein. Further, you represent that you have consulted, or have had the opportunity to consult with, your legal, tax, and financial advisors in connection with the execution and performance of the Agreement.
6. **Applicable Law.** These Terms of Use shall be construed and enforced in accordance with the laws of the State of Arizona without regard to its conflicts of laws provisions. Similarly, the laws of the State of Arizona (again without regard to its conflicts of laws provisions) shall also govern any dispute arising between you and DarkSky. You agree to submit to the personal and subject matter jurisdiction of the courts located within the State of Arizona. You also agree the venue for any action, dispute or proceeding with respect to this Agreement or any dispute between you and DarkSky shall be Maricopa County in the State of Arizona. You further waive all defenses to the contrary including, but not limited to, lack of personal jurisdiction or forum non-conveniens.
7. **Entire Agreement.** These Terms of Use, as they shall be modified from time to time, constitute the full and complete understanding among them with respect to the subject matter hereof and supersede and preempt any prior understandings, agreements, or representations by or among the Parties, written or oral, which may have related to the subject matter hereof in any way. You may not rely on any other statements, promises, or agreements by any party, whether written or oral, that alters or contradicts the terms of these Terms of Use. Indeed, you affirm that you are not relying upon any verbal or written representations whatsoever, except as expressly set forth in these Terms of Use.
8. **Modifications.** This Agreement may not be altered, amended, changed, waived, terminated, or modified in any manner unless the same shall be in writing and signed by or on behalf of both Parties.
9. **Paragraph and Section Headings.** Paragraph and Section headings are for convenience only and shall not be used to construe this Agreement or otherwise be given any legal effect.
10. **Reasonableness.** The Parties have read each of the terms in this Agreement and consider each of them, including all subparts, to be reasonable.
11. **Savings Clause.** In the event that any provision of these Terms of Use is held to be void or unenforceable by a Court of competent jurisdiction, the remaining provisions of these Terms of Use shall nevertheless be binding upon the Parties with the same effect as though the void or unenforceable part had been deleted. Further, any provision held to be void or unenforceable by a Court of competent jurisdiction shall be construed, if possible, to give effect to the Parties' intent. The Parties agree that any such provision, in its forms modified by the court, shall then be enforceable and shall be enforced.
12. **Waiver.** No waiver of any breach of any provision of these Terms of Use shall constitute a waiver of any prior, concurrent or subsequent breach of the same or any other provisions hereof, and no waiver shall be effective unless made in writing and signed by an authorized representative of the waiving party. The failure of DarkSky to insist, in any one or more instances, upon the performance of any of the terms of these Terms of Use or to exercise any right hereunder, shall not be construed as a waiver of the future performance of any such term or the future exercise of such right.

If you have any questions, please contact the [DarkSky Lighting Program Manager](#).



DarkSky International Policy

Outdoor Lighting – Municipal Ordinance Template and User Guide

October 11, 2024 – Version 1.0

Overview

This DarkSky International (DarkSky) Policy provides a template of outdoor lighting requirements for any county, city, municipality, or township seeking to implement a responsible outdoor lighting ordinance *[Some regions will use the term “code” or “bylaw”]*. The language and requirements contained herein are a proven approach to mitigate *Light Pollution* and misuses of artificial light at night (*ALAN*), which threaten human visual performance and safety at night, brighten the naturally dark sky, cause adverse biological health disruptions, damage nocturnal ecosystems, and waste significant amounts of energy and taxpayer money each year. The requirements herein work together holistically to meet the Five Principles for Responsible Outdoor Lighting co-authored by DarkSky and the Illuminating Engineering Society.

Instructions for Use

Narrative written in *[Blue + Italicized font]* are instructions intended for the user, including why a topic is being addressed, and, when applicable, optional requirements or choices. The language within this template will assist advocates and writers draft appropriate ordinance language. Narrative in *[red brackets]* indicates the appropriate name, terminology, value, or date is to be inserted in that location.

Before completion, it is recommended to gather input from key stakeholders (e.g., law enforcement, staff, community, utilities) so all perspectives are considered. The intent is for options to be selected that best fit the passion, identity, and goals of the local community while still meeting DarkSky recommendations. Upon completion, unused options and user instructions should be deleted to keep the document concise.

DarkSky Recognized Program

For any municipality seeking to have their ordinance recognized by DarkSky International, a program is available. For questions regarding this program, contact the [DarkSky Lighting Program Manager](#).

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[MUNICIPALITY] OUTDOOR LIGHTING ORDINANCE

Note: Italicized and capitalized words and phrases are defined in section 4.0 Definitions.

1.0 PREFACE

1.1 Authority

On behalf of the [municipality], this outdoor lighting [ordinance] is enacted on [date] pursuant to, and in accordance with, the authority of the [city council].

1.2 Purpose

[A municipal outdoor lighting ordinance should first establish a purpose and thoughtful background information regarding the intent for having one. When allowed, this information is important for future decision makers who will be faced with new and unique requests. While preamble and background narratives are not usually accepted as code or bylaw, recitals are an effective way to incorporate background and intent. Recitals must be factual, not general, and kept to a minimum.]

A. This outdoor lighting [ordinance] is intended to protect the health and welfare of all residents within the [municipality], enhance its [character and quality of life], prevent inappropriate and poorly installed outdoor lighting, reduce lighting conflicts between property owners, prevent the increase of potentially harmful sky glow, and preserve the naturally dark sky for the benefit of residents, visitors, wildlife, and the environment. The *Five Principles for Responsible Outdoor Lighting* will guide [municipality]'s outdoor lighting decisions because:

1. Whereas, outdoor uses of *Artificial Light at Night (ALAN)* often include inappropriate and bright sources of light that cause an unsafe reduction in human visual performance; and
2. Whereas, excessive, unnecessary, and misdirected *ALAN* contributes to *Light Pollution* and wastes energy resources that would, if corrected, generate tangible cost savings; and
3. Whereas, increased use of *ALAN* has contributed to an escalation of *Light Pollution*, thus increasing the brightness of the night sky by 10% annually and rendering the current night sky orders of magnitude (often hundreds of times) brighter than the natural and original sky background; and
4. Whereas, *Light Pollution* from *ALAN* is known to cause adverse effects on the health and well-being of birds, wildlife, nocturnal ecosystems, vegetation, and under certain circumstances, human health;
5. Now, therefore, let it be resolved that the [municipality], which has the authority to protect natural resources and maintain a healthy environment for present and future generations, chooses to enact this outdoor lighting [ordinance] *[the next part is optional, but highly encouraged because assignment of Lighting Zones by the municipality will establish appropriate and coordinated light levels based on land uses (not property values), avoid subjectivity, and establish a thoughtful hierarchy of lighting conditions across the municipality.]* and hereby assign the following *Lighting Zones* to all property within the [municipal] boundaries:

[Insert table or map] [See Annex A for example formats.]

1.3 Applicability

- A. This [ordinance] applies to all sources of outdoor lighting installed or replaced within the [municipality] after [enactment date]. This includes, but is not limited to, newly permitted development and construction projects involving homes, dwellings, roadways, public right-of-way, [signage, billboards,] buildings, facilities, properties, landscape, parking lots, hardscape, non-habitable structures, and monuments.
- B. Existing outdoor lighting lawfully installed prior to [date] and not meeting the requirements of this [ordinance] shall be considered legal and repairable but non-conforming. All non-conforming *Luminaires* may continue to be used and maintained until one of the following occurs:
 - 1. A determination by the [municipal official] that an outdoor light source constitutes a hazard to public safety or constitutes a nuisance.
 - 2. When a property is re-zoned for a new land use, at which time all outdoor lighting on the property shall meet the requirements of this [ordinance] before the new use commences.
 - 3. [acceptable date of amortized implementation], the date whereupon all lighting must conform to this ordinance.

1.4 Exemptions

- A. **Lawful:** Lighting requirements mandated by a legal jurisdiction with broader authority (e.g., federal, state, or territorial) than the [municipality], including but not limited to:
 - 1. Navigational lighting systems regulated by the Federal Aviation Administration and the US Coast Guard.
 - 2. Any contradictory building code or Department of Transportation illumination requirements.
 - 3. Lighting for worker safety as mandated by the Occupational Safety and Health Administration.
- B. **Safety:** *Luminaires* installed for the benefit of public safety, including but not limited to:
 - 1. *Security Lighting* as determined by a municipal official with authority.
 - 2. Temporary lighting used by authorized first responders during emergency procedures.
- C. **Historic:** *Luminaires* replicating time period historical character and lighting effect that are protected by historical registration, or otherwise permitted by an authority having jurisdiction.
- D. **Permitted:** Temporary and semi-permanent lighting approved by municipal permit for special events, festivals, and community benefit, provided the permitted lighting still meets light trespass requirements and does not add further disruption to ecological migration or habitat.
- E. [Option] **Seasonal:** *Seasonal Lighting* used from [date] to [date]. [While some municipalities will choose to make this exempt, it may be better to prescribe seasonal lighting requirements (See Section 2.5) to help guide the desired outcome.]

1.5 Prohibitions

- A. *ALAN* must not interfere with the safe movement of motor vehicles. Any lighting that distracts or disables the vision of a motor vehicle operator (e.g., excessively bright or rapid blinking, flashing, and/or motion video) or contributes to traffic control confusion (e.g., sources resembling or imitating traffic or railroad signals) is prohibited.
- B. Beacons and searchlights, except for emergency use by authorized first responders.

2.0 OUTDOOR LIGHTING REQUIREMENTS

2.1 General

- A. Legal:** All outdoor *Luminaires* and *Luminaire* installations shall comply with federal and state law; county and municipal codes; applicable energy and building codes; product safety labeling; the requirements of this **[ordinance]**; and shall be subject to the appropriate permit and inspection requirements thereof.
- B. Light Level:** Unless otherwise specified in this ordinance, lighting installed for an outdoor use shall not exceed 25% more than the *Light Level* recommended by the applicable *ANSI/IES Lighting Standard*, or a state approved alternate, as published by **[enactment date]**.
- C. Distribution:** Unless otherwise specified in this ordinance, *Luminaires* emitting more than 1,000 *Lumens* shall be *Fully Shielded* and shall emit no more than 5% of their total *Lumen* output above 80 degrees from *Nadir*. Exceptions are:
1. Festoon string lighting where no individual lamp emits more than 50 lumens, and the lumen density of the string is no greater than 25 lumens per foot. *[This will restrict some medium-base line-voltage products that are not recommended unless they are shielded.]*
 2. Directional *Luminaires* used for façade illumination which are shielded and aimed to hit their target such that the light is contained by architectural elements.
- D. Trespass:** Unless otherwise specified in this ordinance, *Light Trespass* shall meet the following:
1. *Luminaire* light sources shall not be visible from federal or state designated wilderness, natural area, habitat, or reserves, and *Light Trespass* shall measure no greater than 0.1 *Lux*.
 2. *Light Trespass* onto Waters of the United States shall measure no greater than 1 *Lux*.
 3. *Light Trespass* onto *Residential Use* property shall measure no greater than 1 *Lux*.
- E. Curfew:** *Non-essential* outdoor lighting, including but not limited to landscape and decorative lighting elements, shall be extinguished during *Nighttime Hours*.
1. When applicable, outdoor lighting shall dim or be extinguished during *Nighttime Hours* as prescribed by an adopted energy code.
- F. Controls:** *Luminaires* activated by motion detection shall automatically turn off or return to their dimmed state no more than **[5]** minutes after activity is no longer detected.
- G. Spectrum:** Unless otherwise specified in this ordinance, the maximum allowable correlated color temperature (*CCT*) for outdoor *Luminaires* is 3000 K. *[Because blue light is more apt to scatter locally in the atmosphere, it is prone to being redirected back toward earth as a physical manifestation of sky glow. This veil of sky glow reduces the visibility of stars within the natural nighttime sky, and the increased illumination may disrupt biological and ecological health. A CCT of 3000 K is the highest recommended baseline criterion, with exceptions and options noted below.]*
1. Exception: *CCT* exemptions are allowed if a public safety need is documented.

2.2 Residential Use

The following requirements are supplementary to the General Outdoor Lighting Requirements (**Section 2.1** and its subsections) and shall further regulate outdoor lighting on *Residential Use* property:

- A. Lighting for *Residential Use*, excluding roadway, parking, and public right-of-way, shall be exempt from the requirement in **Section 2.1(B)** provided no single Luminaire exceeds 1,000 lumens and the total installed lumens per dwelling, prorated for multifamily, does not exceed the following:

TABLE 2.2: PER DWELLING LUMEN ALLOWANCE RESIDENTIAL USE				
Property Size		Lz0	Lz1	Lz2
(acre)	(sf)			
1.33	58,000+ sf	5,200	13,000	22800
1.00	43,000 sf	4,600	11,500	20200
0.75	32,000 sf	4,100	10,200	17900
0.50	21,000 sf	3,500	8,700	15300
0.33	14,000 sf	2,800	7,000	12300
0.25	10,800 sf	2,400	5,900	10400
0.20	8,700 sf	2,000	5,000	8800
0.13	5,400 sf	1,500	3,600	6300
0.05	2,100 sf	850	1,700	3000
0.03	< 2,100 sf	850	850	1500

Multi-Family Example: 32 townhome units on a 3.2-acre development equals .10 acres per dwelling. Therefore, each dwelling is allowed 1,700 lumens when located in Lz1.

- B. *Light Trespass* leaving *Residential Use* property shall be no greater than 1 *Lux*.
- C. *[Option: If a community wants warmer color lighting in areas of residential dwelling, and where residents are perhaps already accustomed to warmer color light.]* When needed, *Residential Use* roadway *Luminaires* shall be a maximum CCT of [2400 K].

2.3 Non-Residential Use

The following requirements are supplementary to the General Outdoor Lighting Requirements (**Section 2.1** and its subsections) and shall further regulate outdoor lighting on non-residential property:

- A. *Non-Residential Use* lighting shall be exempt from the requirement in **Section 2.1(B)**, provided there is no *Luminaire* installed on the property capable of exceeding a total output greater than 3,000 *Lumens*.
- B. *Light Trespass* leaving non-*Residential Use* property onto adjacent public right-of-way shall be no greater than 3 *Lux* when measured 20 feet past the property line.

2.4 Sports Lighting

[There are three options available for sports lighting. The first option provides essential requirements for safe play and light trespass mitigation. The second provides for improved control of obtrusive light and minimal offsite lighting. The third option requires independent third-party verification of the sports lighting facility.]

The following requirements are supplementary to the General Outdoor Lighting Requirements (**Section 2.1** and its subsections) and shall further regulate outdoor lighting for sports and recreational areas *[Choose one of the following]*:

- Lighting for sports and recreational areas shall also meet the following requirements:
 1. Eighty-five percent (85%) of the lumens generated by sports lighting luminaires shall be confined to within 10 meters (33 feet) or a distance of one pole height, whichever is greater, of the playing field or the spectator track or bleacher area, whichever is greater.
 2. Lighting installations for aerial sports are allowed a maximum of 8% of the total lumen output to be emitted above 80 degrees from *Nadir*.
 3. When the recommended sports field *Light Level* is higher than 100 lux, installed lighting shall not exceed 10% more than the *Light Level* recommended by the applicable *ANSI/IES lighting standard*, or a state approved alternate, as published by **[enactment date]**.
 4. The maximum *CCT* for outdoor sports lighting should be the lowest possible for the sport, class of play, and viewing audience as defined by the relevant *ANSI/IES lighting standard*, or any state approved alternative, but never exceeding 5700 K.
 5. The maximum luminous intensity from any luminaire lighting a sports field shall not exceed 10,000 *candelas* (cd) as measured along a perimeter that is 46 meters (150 feet) from the edge of the field, at 1.5 meters (5 feet) above grade. *[Because sports lighting can be 85% contained and still produce obtrusive brightness, in the surrounding properties, this light trespass requirement is necessary to guide effective performance requirements. There are many LED products with shielding and optical control that can meet this requirement. The design process can account for this, and installation crews can validate the measurement.]*
- Sports lighting shall meet the requirements of the *DarkSky Approved Outdoor Sports Lighting Program*.
- Sports lighting shall be certified by DarkSky International as meeting the DarkSky Approved Outdoor Sports Lighting Program.

2.5 *[Additional Lighting Criteria Available:]*

[Supplemental outdoor lighting requirements are available for specialized uses and applications. These requirements can be found at <https://darksky.org>, and are intended for insertion into the ordinance starting with section 2.5. The specialized uses and applications that are available include:]

- A. *[Seasonal Lighting]*
- B. *[Illuminated Signage]*
- C. *[Coastal Marine Turtle Habitat]*

3.0 ADMINISTRATIVE REQUIREMENTS

3.1 Permit Application

- A. **Submittal:** Whenever a building, subdivision, site plan, or outdoor lighting permit is applied for, an outdoor lighting plan must be submitted along with a compliance statement that the proposed work will comply with all **[ordinance]** requirements. The outdoor lighting plan must follow one of the following:

1. **Schedule Method:** Only available for renovation and *Residential Use* lighting; projects to be documented using a spreadsheet format by listing the *Luminaire* identifications (i.e., manufacturer, model number, type), *Luminaire* quantities, installation locations, and *Lumen* outputs for each; or
 2. **Calculation Method:** Available for all project types but required for sports lighting and when specifically requested by the [planning commission]; an outdoor lighting design shall be prepared by a certified lighting professional or licensed professional engineer using lighting design software and *Luminaire* .ies files. This outdoor lighting plan shall include:
 - a) *Luminaire* identification (model number), installation locations, mounting heights, targeted directions, buildings, and other physical objects within the site that could affect the lighting outcome.
 - b) Site plan and *Illuminance* calculation plots demonstrating conformance with this ordinance, including the sports lighting luminous-intensity *Light Trespass* limit.
- B. Review:** Submitted spreadsheets, site lighting plans, and compliance affidavits shall be subject to review and approval by the [administrator], or designee. The [administrator] shall have the authority to refer an application to the [planning and zoning commission] or the [historic commission] if deemed appropriate.
- C. Appeals:** Any appeals related to decisions regarding outdoor lighting shall be made to the [administrator], or designee.

3.2 Enforcement and Penalty

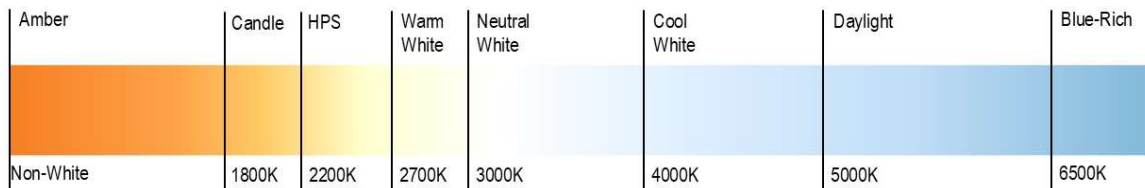
[Each municipality will have its own ordinance and regulations from which to cite specific references on enforcement and penalties. This section should be tailored to cite those specific sections as applicable to ensure enforcement and that penalties can be administered.]

- A. Enforcement:** Unless otherwise noted in this [ordinance], the [administrator], or designee, shall be responsible to implement, administer, and enforce this [ordinance], including investigations of alleged violation. A private right of action may also constitute enforcement of the requirements within this [ordinance].
1. The [administrator] charged with enforcing this chapter shall have the authority to grant partial waiver of specific [ordinance] requirements for up to one year if a property owner demonstrates that compliance creates unreasonable hardship, as balanced against the potential impacts of non-compliance, or results in conditions that are materially detrimental to health, safety or welfare.
- B. Penalty:** Any property owner that does not meet the requirements of this [ordinance] shall be in violation. A person, firm, or corporation found to have violated, disobeyed, omitted, neglected, or refused to comply with any provisions of this [ordinance] shall be issued a notice and administrative citation as provided by the municipal code [appropriate section numbers]. Any person, firm, or corporation found to have violated any portion of this [ordinance] shall correct the violations within ninety (90) days of the citation date. Each day a violation continues beyond ninety (90) days of the citation date without having been corrected shall be a separate offense. *[For municipalities without standard citation penalties or injunctive relief, a monetary fine is recommended for each citation.]*
- C. [Option] Private Action:** Any person adversely affected by lighting that does not meet the requirements of this [ordinance] shall have a private cause of action for nuisance against the person, firm, or corporation responsible for such lighting.

4.0 DEFINITIONS

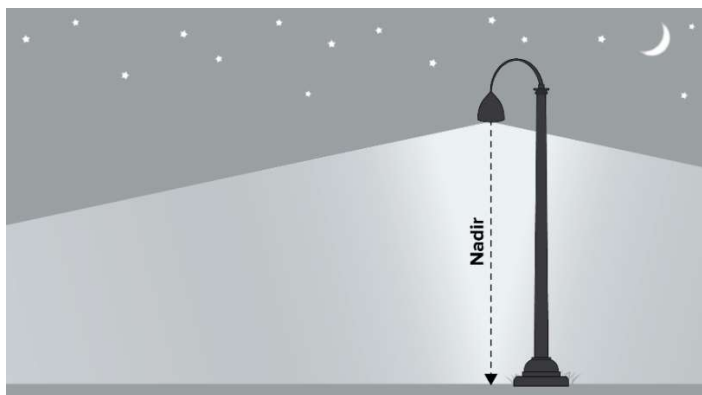
4.1 The following definitions apply to terms used in this ordinance:

- A. **ANSI:** American National Standards Institute.
- B. **ANSI/IES Lighting Standards:** Applicable outdoor lighting standards and metrics include but are not limited to:
 1. RP-2: outdoor retail spaces
 2. RP-6: outdoor sports and recreational areas
 3. RP-7: outdoor industrial areas
 4. RP-8: roadway and parking facilities
 5. RP-40: port terminals
 6. RP-43: outdoor pedestrian areas
- C. **ALAN (artificial light at night):** Light that is created from human technology, rather than a naturally occurring process. Also known as anthropogenic lighting.
- D. **Candela (cd):** The unit of measure for luminous intensity.
- E. **CCT (correlated color temperature):** The measured color appearance of light emitted by a light source described using a nominal value stated in kelvins (K). Lower CCTs (1800 K to 2200 K) appear very warm or amber. Medium CCTs (2700 K to 3000 K) appear “warm white,” similar to standard incandescent bulbs. High CCTs (4000 K and higher) appear “cool white” or “blue.”



- H. **DarkSky Approved Outdoor Sports Lighting:** A standalone program put forth by DarkSky International to guide and/or certify sports lighting that meets stringent glare and *Light Trespass* requirements.
- I. **Five Principles for Responsible Outdoor Lighting:** Co-authored and published by DarkSky International and the Illuminating Engineering Society: 1) Use light only if needed; 2) distribute light only where it is needed; 3) use light that is no brighter than needed; 4) control light so it is on only when needed; and 5) use warmer color light when possible.
- J. **Fully Shielded:** A *Luminaire* designed or shielded in such a manner that no light is emitted, either directly or indirectly, at or above a horizontal plane running through the lowest light-emitting part of the luminaire.
- K. **IES (Illuminating Engineering Society):** An ANSI-recognized Standards Development Organization. ANSI/IES Recommended Practices are universally recognized as authoritative references for lighting applications.
- L. **Illuminance:** Measured in *Lux* or footcandles, the total luminous flux incident at a point on a surface.
- M. **Light Level:** The maintained *Luminance* or *Illuminance* value.
- N. **Light Pollution:** ALAN traveling into areas where it is not needed or wanted. This can be in the form of *Light Trespass*, glare, or atmospheric sky glow.

- O. **Light Trespass:** *ALAN* illuminating past property lines without permission. Unless specified otherwise, light trespass limits are measured at any location along a property line both horizontally at the ground plane facing upward and vertically at 1.5 meters (5ft) above grade with the meter aimed toward the light source in question.
- P. **Lighting Zones:** An ANSI/IES/DarkSky system describing the luminous environment and related lighting conditions based on land uses and expected tasks. These range from natural and intrinsically dark zones to very bright zones.
- Q. **Lumen (lm):** A unit of measure of the *luminous flux* of a light source.
- R. **Luminaire:** A complete lighting unit, including the light source, housing, optics, electronics, and other necessary components for the purpose of providing outdoor illumination.
- S. **Luminance:** The intensity of light emitted from a surface per unit area in a given direction.
- T. **Lux (lx):** The SI metric system unit of measure for *illuminance*.
- U. **Nadir:** A downward vertical vector directly beneath a luminaire, opposite to zenith.



- V. **Nighttime Hours:** The time between [10] PM and sunrise, or 7 AM (whichever comes earlier). For businesses and events with operating hours later than [10] PM, nighttime hours will begin one hour after closing.
- W. **Non-essential:** Lighting that is not directly associated with the physical safety of motor vehicle and pedestrian threats, including but not limited to: landscape lighting, illuminated signage or advertising after business hours, façade lighting, vacant sports fields, and seasonal lighting.
- X. **Residential Use:** Municipal zoning districts dedicated exclusively to places of low-rise (i.e., 3 stories or less) human residence and dwelling. Examples include single family, duplex, dual family, multi-family, apartment, townhouse, and mobile home. This does not include mixed-use or commercial districts with combined dwellings.
- Y. **Seasonal Lighting:** Outdoor or site lighting that is portable, temporary, decorative, and used in connection with holidays and traditions. This includes but is not limited to string lighting, icicle lighting, and lighted inflatables, none of which are intended for general illumination.
- Z. **Security Lighting:** Illumination used specifically to protect people, property, and infrastructure from criminal threat.
- AA. **Shielding:** A *Luminaire* design, optical intervention, or physical accessory (such as a louver) preventing light emission from traveling into a particular area, angle, or region.

END OF TEMPLATE

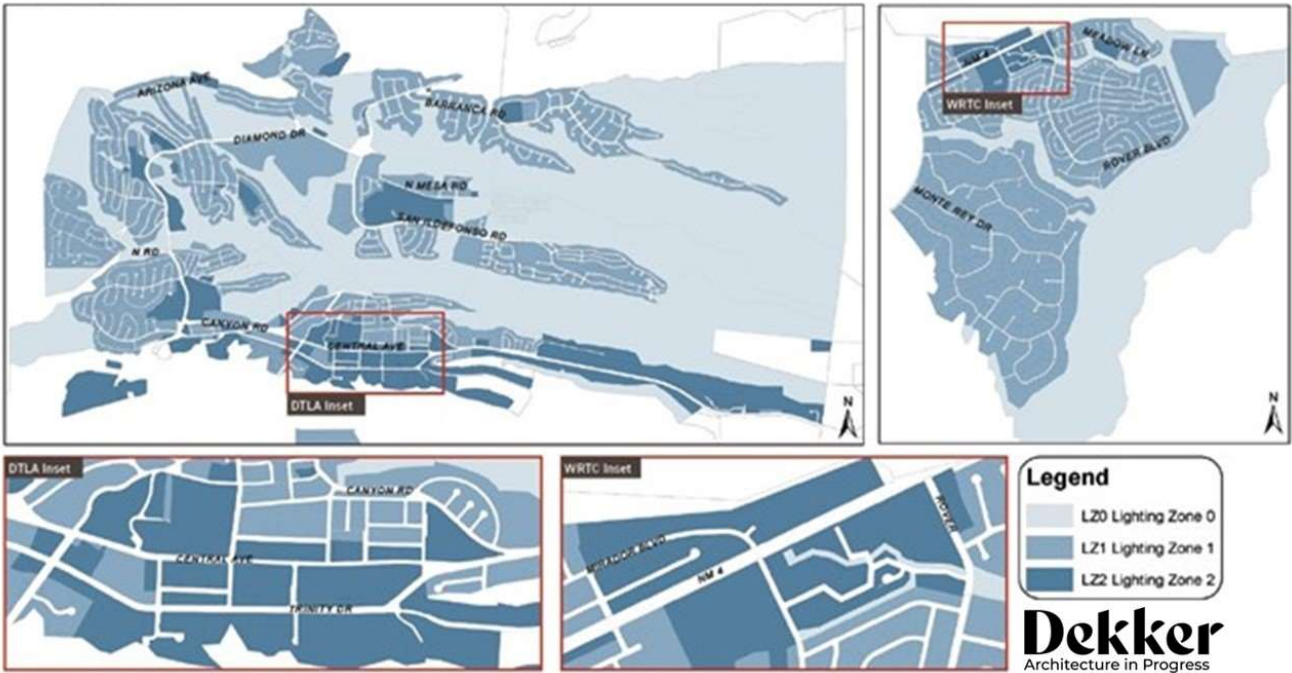
ANNEX A – EXAMPLE FORMATS TO ASSIGN LIGHTING ZONES

Table Example

Lighting Zone Designations by Land Use																		
Zone District	Residential						Mixed-Use				Non-Residential							
Lighting Zones	R-A	R-1	R-T	R-MC	R-ML	R-MH	MX-T	MX-L	MX-M	MX-H	NR-C	NR-BP	NR-LM	NR-GM	NR-PO			
															A	B	C	D
NLz																X ¹	X ¹	
Lz0	X ³	X ³	X ³	X ³	X ³		X ³								X ²	X ²	X ²	X ²
Lz1	X	X	X	X	X	X ⁴	X	X ⁴	X ⁴	X ⁴	X	X	X	X	X			X
Lz2						X		X	X	X	X ⁵			X ⁵	X ⁶			
Lz3									X ⁵	X ⁵					X ⁷			

Notes:
 [1] NLz is required in NR-PO zones for open space where no anthropogenic light is allowed.
 [2] Lz0 is required in NR-PO zones for open space where artificial light is needed during nighttime hours.
 [3] A lower lighting zone is required on subject properties with sensitive lands.
 [4] A lower lighting zone is required on subject properties adjacent to low-density uses.
 [5] A higher lighting zone is allowed unless the subject property is adjacent to any residential zone district.
 [6] Lz2 is allowed in parks with high pedestrian activity and many amenities.
 [7] Lz3 is allowed in parks containing nighttime stadiums or entertainment activities.

Overlay Map Example





DARKSKY POLICY TEMPLATE: TERMS OF USE

By downloading this document, you have agreed to the following:

The International Dark-Sky Association, dba DarkSky International (“DarkSky”), is a 501c(3) nonprofit organization that works to raise awareness about the negative impacts of light pollution and preserve the nighttime environment through public education, conservation, and the certification of environmentally responsible outdoor lighting.

To further these goals, DarkSky has developed DarkSky Policy Templates (“DarkSky Templates”, or “Templates”) which provide particular provisions to be adopted by a municipality, village, city, county, state, province, or other government entity (“Government Entity”). When implemented, these provisions help mitigate light pollution and protect dark skies while maintaining illuminated conditions in accordance with appropriate standards. Upon incorporating the Template provisions into law in the Government Entity statutes (codes, standards, ordinances legislation, etc), the Government Entity may apply to have their final adopted language reviewed by DarkSky International for conformance, and, if approved, become “DARKSKY RECOGNIZED.”

DarkSky makes these Templates publicly available for download and use subject to these Terms of Use (“Terms”). Please read these Terms carefully to ensure you understand and comply with them in the use of the Templates.

USE OF TEMPLATES

1. **Format.** Upon agreeing to these Terms, you may download the DarkSky Templates in either a PDF or Word version. The PDF version must not be altered and used only as an official version from DarkSky; the Word version is provided as an editable document to more easily incorporate the provisions into other statute formats subject to these terms.
2. **Use of DarkSky Templates and Designation.** You are free to use the Templates for incorporating the provisions contained therein into your local or regional statutes, however you may not use the DARKSKY RECOGNIZED designation unless authorized by DarkSky as provided for in Paragraph 3.
3. **Approval for DARKSKY RECOGNIZED status.** You may, for a fee and as instructed on the darksky.org website, submit draft versions of your proposed statutes to DarkSky for review and comment prior to final adoption. Upon receipt, and in due course, DarkSky will review the proposed version. DarkSky will designate statutes as DARKSKY RECOGNIZED only for final adopted statutes. Proof of final adoption must be submitted, including 1) final adopted language and 2) proof of adoption including official minutes confirming the adopted language. Any change to DARKSKY RECOGNIZED statutes must be recertified by DarkSky through this same process; changes made without DarkSky review and approval will have this designation revoked by DarkSky International.
4. **Representation of DarkSky International.** You may not represent yourself as a DarkSky International representative or agent at any time when advocating for the use of these Templates without the express written consent and approval of DarkSky International. If you modify the Templates in any way, you may not represent the altered document as a DarkSky approved document; only the unaltered PDF versions of the DarkSky Templates can be referred to as DarkSky approved Templates.

GENERAL TERMS

5. **Acknowledgement.** Upon downloading any version of the DarkSky Templates, you acknowledge that you have read, understood, and agreed to all terms contained herein. Further, you represent that you have consulted, or have had the opportunity to consult with, your legal, tax, and financial advisors in connection with the execution and performance of the Agreement.
6. **Applicable Law.** These Terms of Use shall be construed and enforced in accordance with the laws of the State of Arizona without regard to its conflicts of laws provisions. Similarly, the laws of the State of Arizona (again without regard to its conflicts of laws provisions) shall also govern any dispute arising between you and DarkSky. You agree to submit to the personal and subject matter jurisdiction of the courts located within the State of Arizona. You also agree the venue for any action, dispute or proceeding with respect to this Agreement or any dispute between you and DarkSky shall be Maricopa County in the State of Arizona. You further waive all defenses to the contrary including, but not limited to, lack of personal jurisdiction or forum non-conveniens.
7. **Entire Agreement.** These Terms of Use, as they shall be modified from time to time, constitute the full and complete understanding among them with respect to the subject matter hereof and supersede and preempt any prior understandings, agreements, or representations by or among the Parties, written or oral, which may have related to the subject matter hereof in any way. You may not rely on any other statements, promises, or agreements by any party, whether written or oral, that alters or contradicts the terms of these Terms of Use. Indeed, you affirm that you are not relying upon any verbal or written representations whatsoever, except as expressly set forth in these Terms of Use.
8. **Modifications.** This Agreement may not be altered, amended, changed, waived, terminated, or modified in any manner unless the same shall be in writing and signed by or on behalf of both Parties.
9. **Paragraph and Section Headings.** Paragraph and Section headings are for convenience only and shall not be used to construe this Agreement or otherwise be given any legal effect.
10. **Reasonableness.** The Parties have read each of the terms in this Agreement and consider each of them, including all subparts, to be reasonable.
11. **Savings Clause.** In the event that any provision of these Terms of Use is held to be void or unenforceable by a Court of competent jurisdiction, the remaining provisions of these Terms of Use shall nevertheless be binding upon the Parties with the same effect as though the void or unenforceable part had been deleted. Further, any provision held to be void or unenforceable by a Court of competent jurisdiction shall be construed, if possible, to give effect to the Parties' intent. The Parties agree that any such provision, in its forms modified by the court, shall then be enforceable and shall be enforced.
12. **Waiver.** No waiver of any breach of any provision of these Terms of Use shall constitute a waiver of any prior, concurrent or subsequent breach of the same or any other provisions hereof, and no waiver shall be effective unless made in writing and signed by an authorized representative of the waiving party. The failure of DarkSky to insist, in any one or more instances, upon the performance of any of the terms of these Terms of Use or to exercise any right hereunder, shall not be construed as a waiver of the future performance of any such term or the future exercise of such right.

If you have any questions, please contact the [DarkSky Lighting Program Manager](#).

How does light impact human health and the environment and what are the current recommendations for responsible outdoor lighting?

March 2, 2026 | Jon Walker, P.E., LC, Lighting/Electrical Engineer with Penn State OPP

According to the Illuminating Engineering Society (IES), “The general guidance is that humans should experience bright, outdoor-like light levels throughout the day, low light levels pre-sleep, and darkness during sleep. While outdoor light at night is typically used to promote safety and well-being, these intended functions should be balanced with the general desire to maintain a naturally dark environment for day-night circadian signaling, as well as ecological and sky glow considerations.”¹

This guidance is based on research, including ongoing research, and “as with any research concerning human health, the information is complex and difficult to place in context.” However, there is current knowledge on the known relationships between optical radiation (light) and human health.²

In addition to rods and cones, which are photoreceptors in the human eye responsible for vision under very low light levels and daylight levels, respectively, a relatively recent discovery in science was the identification of a new type of photoreceptor in the retina: intrinsically photosensitive retinal ganglion cells. These cells “are the central photoreceptors mediating circadian and neuroendocrine regulation.”³ **In other words, these cells act as a kind of light sensor for our brain’s internal clock, telling our bodies when it’s time to be awake or asleep.**

❓ How does complex research inform actual best practices in lighting?

Practically, there are lighting design recommendations for both indoor daytime lighting and exterior nighttime lighting, including specific light levels for various applications and environments.

Many people live indoors during much of the day. Historically, lighting design focused on providing the right amount of illuminance on surfaces to support human visual tasks and perception of the indoor space. More recently, there are additional recommended practices to support the physiological and behavioral effects of lighting, in interior daytime environments.⁴

❓ What about outdoor lighting at night? How can we promote human vision, visibility, and reassurance at night while also considering health and ecological impacts?

Light pollution, the human-made alteration of outdoor light levels from those occurring naturally, is of special concern for several reasons. For example,

¹ Recommended Practice: Lighting Exterior Applications, ANSI/IES RP-43-25, Section 4.2.1 Effects of Outdoor Lighting on Human Health.

² Lighting Practice: Environmental Considerations for Outdoor Lighting, ANSI/IES LP-11-20, Section 2.1 Effects of Exterior Lighting on Human Health.

³ Light and Human Health: An overview of the Impact of Optical Radiation on Visual, Circadian, Neuroendocrine, and Neurobehavioral Responses, IES TM-18-18, Section 2.2.10 Circadian Clock Uses Novel Receptor System.



⁴ Recommended Practice: Supporting the Physiological and Behavioral Effects of Lighting in Interior Daytime Environments, ANSI/IES RP-46-23.






- “Light pollution may threaten the visual performance of humans in the form of high brightness glare;
- brighten a naturally dark sky, making the work of astronomers more difficult;
- cause biological disruption and contribute to human health issues;
- damage nocturnal ecosystems by causing behavioral changes that affect their populations; and
- waste significant amounts of energy, as well as the money to produce that energy.

For these reasons, outdoor lighting should be responsibly contained to areas that need lighting, hitting its targets, minimizing stray and upward light, using the minimal amount of light necessary, and using longer-wavelength light compositions, when possible, all described further in Section 5.0 Five Principles for Responsible Outdoor Lighting.”⁵ How may human health be impacted? “Exterior lighting at night may contribute to human health issues like sleep disruption, obesity, diabetes, cancer, and depression.”⁶ (See references 2 through 8, next page).

“DarkSky and the Illuminating Engineering Society jointly published the **Five Principles for Responsible Outdoor Lighting...** by applying these principles, properly designed electric lighting at night can be beautiful, healthy, and functional. Projects that incorporate these principles will save energy and money, reduce light pollution, and minimize wildlife disruption.”⁷

Five Lighting Principles for Responsible Outdoor Lighting


DarkSky


Responsible outdoor lighting is	1 Useful	<p>Use light only if it is needed</p> <p>All light should have a clear purpose. Consider how the use of light will impact the area, including wildlife and their habitats.</p>	
	2 Targeted	<p>Direct light so it falls only where it is needed</p> <p>Use shielding and careful aiming to target the direction of the light beam so that it points downward and does not spill beyond where it is needed.</p>	
	3 Low Level	<p>Light should be no brighter than necessary</p> <p>Use the lowest light level required. Be mindful of surface conditions, as some surfaces may reflect more light into the night sky than intended.</p>	
	4 Controlled	<p>Use light only when it is needed</p> <p>Use controls such as timers or motion detectors to ensure that light is available when it is needed, dimmed when possible, and turned off when not needed.</p>	
	5 Warm-colored	<p>Use warmer color lights where possible</p> <p>Limit the amount of shorter wavelength (blue-violet) light to the least amount needed.</p>	

⁵ Recommended Practice: Lighting Exterior Applications, ANSI/IES RP-43-25, Section 4.2.1 Effects of Outdoor Lighting on Human Health. Section 4.1 Light Pollution Considerations.

⁶ Lighting Practice: Environmental Considerations for Outdoor Lighting, ANSI/IES LP-11-20, Introduction, footnotes 2 through 8, included in the

⁷ <https://darksky.org/resources/guides-and-how-tos/lighting-principles/>

References supporting the IES claim that “Exterior lighting at night may contribute to human health issues like sleep disruption, obesity, diabetes, cancer, and depression.”:

- 2 Chepesiuk R. Missing the dark: Health effects of light pollution. Environ Health Perspectives. 2009 Jan. DOE: <https://doi.org/10.1289/ehp.117-a20>.
- 3 Rybnikova NA, Haim A, Portnov BS. Does artificial light-at-night exposure contribute to the worldwide obesity pandemic? Inter J Obesity. 2016;40:815-23. DOI: 10.1515/jbcpp-2016-0116.
- 4 Rakshit K, Thomas AP, Matveyenko AV. Does disruption of circadian rhythms contribute to beta-cell failure in Type 2 diabetes? Current Diabetes Rep. 2014;14:474.
- 5 Shi S, Ansari TS, McGuinness OP, Wasserman DG, Johnson CH. Circadian disruption leads to insulin resistance and Obesity. Current Bio. 2013;23(5):372-81.
- 6 Zubidat AE, Haim A. Artificial light-at-night – A novel lifestyle risk factor for metabolic disorder and cancer morbidity. J Basic Clin Physiol Pharmacology. 2017;28(4).
- 7 Stevens RG, Brainard GC, Blask DE, Lockley SW, Motta ME. Breast cancer and circadian disruption from electric lighting in the modern world. CA: Cancer J Clinicians. 2013 Dec 24. DOI: 10.3322/caac.21218.
- 8 Salgado-Delgado R, Osorio AT, Saderi N, Escobar C. Disruption of circadian Rhythms: A crucial factor in the etiology of depression. Depression Res Treatment. 2011. DOI: 10.1155/2011/839743.

How can a municipality promote responsible outdoor lighting?



As mentioned above, the Illuminating Engineering Society and DarkSky jointly developed the Five Principles for Responsible Outdoor Lighting. DarkSky further developed:



1. “Outdoor Lighting – Municipal Ordinance Template”
2. “Outdoor Lighting – Illuminated Signage Supplement”

According to the DarkSky Outdoor Lighting – Municipal Ordinance Template and User Guide⁸, “it is recommended to gather input from key stakeholders (e.g., law enforcement, staff, community, utilities) so all perspectives are considered. The intent is for options to be selected that best fit the passion, identity, and goals of the local community while still meeting DarkSky recommendations.”

⁸ <https://darksky.org/what-we-do/advancing-responsible-outdoor-lighting/darksky-outdoor-lighting-codes/>



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council
From: Mike Bloom, Assistant Township Manager
Thru: Lindsay Schoch, AICP, Principal Planner
Re: OB-2 – Amendments to Chapters 87 & 200
Date: March 2, 2026, for March 5th meeting

Background:

At the February 19th meeting, Council approved Ordinance O-26-02, which made amendments to Chapters 87 (Conditional Uses) and 200 (Zoning) pertaining to data centers. The intent of these amendments was to make data centers a conditional use in zoning districts where they were otherwise previously a permitted use by right. After further review, staff has identified errors in the changes enacted through Ordinance O-26-02 that would inadvertently result in the ordinance not meeting its intent.

In the course of revisiting and rectifying those changes made to Chapters 87 and 200, staff has also taken the opportunity to provide Council with proposed amendments to Chapter 87 Conditional Uses that would address the typical impacts of large data centers, most notably water and energy consumption.

Recommended Changes:

Included for Council's review is a Draft Ordinance O-26-03 that would accomplish the following:

- Amend Chapter 200 to remove data centers as a permitted use by right in the Office Commercial, Commercial & Industrial zoning districts.
- Amend Chapter 200 to add data centers as a conditional use in the Office Commercial, Commercial & Industrial zoning districts.
- Amend Chapters 87 to remove data centers as a conditional use in the Rural Residential zoning district.
- Amend Chapter 87 to add data centers as a conditional use in the Office Commercial, Commercial and Industrial zoning districts.
- Amend Chapter 87 to add conditions of approval for data centers that pertain to water and energy consumption.

Timeline & Procedures:

Given the proposed changes to Chapters 87 and 200, the Municipalities Planning Code will require a 30-day review period for the College Township Planning Commission and Centre Region Planning Agency.

A summary of the proposed changes will need to be publicly advertised on two separate occasions that are no more than 60 days and no less than 7 days before the proposed public hearing on April 16, 2026.

The recommended action by Council to advertise a public hearing on Draft Ordinance O-26-03 would make it a "pending ordinance" with College Township.

Requested Action:

Council is asked to review and provide feedback on the attached Draft Ordinance O-26-03 to amend Chapters 87 and 200.

Barring substantive changes, Council should consider a motion to authorize staff to advertise an April 16th Public Hearing on Draft Ordinance O-26-03, which will amend Chapters 87 and 200 of the Township Code pertinent to data centers.

**COLLEGE TOWNSHIP
CENTRE COUNTY, PENNSYLVANIA**

ORDINANCE NO. O-26- --

AN ORDINANCE OF THE TOWNSHIP OF COLLEGE, CENTRE COUNTY, PENNSYLVANIA,

AMENDING CHAPTER 87 CONDITIONAL USES BY REMOVING DATA CENTERS FROM THE RURAL RESIDENTIAL ZONING DISTRICT AND INCLUDING THEM AS CONDITIONAL USES IN THE OFFICE COMMERCIAL, COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS

AND

CHAPTER 200 ZONING TO REMOVE DATA CENTERS AS PERMITTED USES BY RIGHT IN THE OFFICE COMMERCIAL, COMMERCIAL, AND INDUSTRIAL DISTRICTS AND ADD DATA CENTERS BY CONDITIONAL USE IN THE OFFICE COMMERCIAL, COMMERCIAL, AND INDUSTRIAL DISTRICTS.

GENERAL REFERENCES

Conditional uses — See Ch. 87.

Zoning – See Ch. 200

~~Strikethrough~~ = deletion

Bold Italics = addition

WHEREAS Data Centers are permitted By Right in the Office Commercial, Commercial, and Industrial Zoning Districts; and

WHEREAS all uses listed in Office Commercial are also permitted in the Commercial Zoning District; and

WHEREAS Data Centers are permitted by Conditional Use in the Rural Residential Zoning District; and

WHEREAS the Council of the Township of College intends to remove Data Centers from the Rural Residential Zoning District.

WHEREAS it is College Township's Intent that Data Centers shall only be permitted by Conditional Use in the Office Commercial, Commercial, and Industrial Zoning District; and

SECTION 1 – REMOVE ARTICLE XVII IN CHAPTER 87

Chapter 87, Article XVII – Data Centers

~~87-64: Data Centers~~

~~A. Data Centers shall be permitted by Conditional Use in the Rural Residential Zoning District pursuant to the criteria set forth in Attachment 5 – Criteria and Standards for the Rural Residential District, along with the following:~~

~~B. Building Façade: Any side of a building that faces a road or a zoning district that permits a residential use must incorporate at least two of the following design elements every 150 horizontal feet. If more than two sides of a building meet the facade requirements, the facades shall be consistent in terms of design and materials:~~

- (1) Change in building height.
- (2) Building step backs or recesses
- (3) Fenestration (arrangement, design and installation of windows and other openings in a building)
- (4) Change in building material, pattern, texture, or color
- (5) Use of accent materials.

C. Buffering. A buffer yard of one hundred feet is required between the data center and any district that permits residential uses or planned residential developments. No buildings or parking areas shall be constructed in the buffer.

D. Screening. Screening must be provided between accessory buildings including mechanical equipment and substations, and adjacent roads and properties. Screening can be accomplished using existing vegetation that will remain on the property, a newly planted vegetative screen, or a fence, screen wall, panel, parapet wall or other opaque screen as approved by the municipality. Screening is not required where the principal building serves as the visual screen between accessory buildings/equipment and the adjacent roads and properties.

E. Landscaping pursuant to the requirements set forth in Chapter 200 36, landscaping, buffering, and screening.

F. Fencing. Chain link and barbed wire are discouraged along public streets or when adjacent or residential uses exist.

Chapter 200, Attachment 5—Criteria and Standards for Rural Residential District (RR)—Add Data Centers pursuant to Chapter 87, Conditional Uses

SECTION 2 - REMOVE THE USE BY RIGHT OF DATA CENTERS FROM ATTACHMENT 15 CRITERIA AND STANDARDS FOR OFFICE COMMERCIAL (C-2), (COMMERCIAL), AND CRITERIA AND STANDARDS ATTACHMENT 16 GENERAL INDUSTRIAL DISTRICT (I-1).

SECTION 3 - ADD THE CONDITIONAL USE OF DATA CENTERS TO ATTACHMENT 15 CRITERIA AND STANDARDS FOR OFFICE COMMERCIAL (C-2), (COMMERCIAL), AND ATTACHMENT 16 CRITERIA AND STANDARDS FOR INDUSTRIAL ZONING DISTRICTS (I-1).

SECTION 4 – ADD ARTICLE XVII IN CHAPTER 87

Chapter 87, Article XVII – Data Centers

87-64: Data Centers

A. Data Centers shall be permitted by Conditional Use in the Office Commercial, Commercial, and Industrial Zoning Districts.

D. Building Façade: Any side of a building that faces a road or a zoning district that permits a residential use must incorporate at least two of the following design elements every 150 horizontal feet. If more than two sides of a building meet the facade requirements, the facades shall be consistent in terms of design and materials:

- (1) Change in building height.*

(2) Building step backs or recesses

(3) Fenestration (arrangement, design and installation of windows and other openings in a building)

(4) Change in building material, pattern, texture, or color

(5) Use of accent materials.

E. Buffering. A buffer yard of one hundred feet is required between the data center and any district that permits residential uses or planned residential developments. No buildings or parking areas shall be constructed in the buffer.

F. Screening. Screening must be provided between accessory buildings including mechanical equipment and substations, and adjacent roads and properties. Screening can be accomplished using existing vegetation that will remain on the property, a newly planted vegetative screen, or a fence, screen wall, panel, parapet wall or other opaque screen as approved by the municipality. Screening is not required where the principal building serves as the visual screen between accessory buildings/equipment and the adjacent roads and properties.

G. Landscaping pursuant to the requirements set forth in Chapter 200-36, landscaping, buffering, and screening.

H. Fencing. Chain-link and barbed wire are discouraged along public streets or when adjacent or residential uses exist.

I. Infrastructure.

(1) Water. The applicant shall submit an analysis of raw water needs (groundwater or surface water) from either private or public sources, indicating quantity of water required. If the source is from a municipal system, the applicant shall submit documentation that the public authority will supply the water needed.

(2) Any user requiring more than 50,000 gpd shall analyze and consider Beneficial Reuse Water as an alternative method of non-potable water usage.

(3) A water feasibility study will be provided in order to determine if there is an adequate supply of water for the proposed data center and to estimate the impact of the data center on existing wells in the vicinity.

(4) No data center shall be approved without sufficient water.

(5) A Water Feasibility Study shall include the following minimum information:

a. Calculations of the project water needs

b. A geologic map of the area with a radius of at least one mile from the site.

c. The location of all existing and proposed wells within 1,000 feet of the site, with a notation of the capacity of all high-yield wells.

d. The location of all streams within 1,000 feet of the site and all known point sources of pollution

e. Based on geologic formations underlying the site, the long-term safe yield shall be

determined.

f. A determination of the effects of the proposed water supply system on the quantity and quality of water in nearby wells, streams, and the groundwater table.

g. Identification of how water will be recycled or released into surrounding water bodies.

h. A statement of the qualifications and the signatures of the person preparing the study.

(6) The applicant shall provide proof of review and approval from the Susquehanna River Basin Commission (SRBC) for projects that have:

a. Water withdrawals of 100,000 gallons per day (gpd) or more over a 30-day average from any source or combination of sources within the SRBC.

b. Any consumptive water use of 20,000 gpd or more over a 30-day average from any water source.

J. Electric.

(1) The applicant shall submit documentation from the serving electric utility verifying available system capacity and identifying any required upgrades. The Township may condition approval upon:

(a) phased energization,

(b) execution of a development agreement addressing infrastructure cost responsibility, and

(c) installation of on-site generation or energy storage facilities sufficient to mitigate identified infrastructure impacts

SECTION 7 SERVERABILITY

If any sentence or clause, section, or part of this ordinance is found to be unconstitutional, illegal or invalid, such findings shall not affect or impair any of the remaining parts of this ordinance. It is hereby declared to be the intent that this ordinance would have been adopted had such part not been included.

ENACTED AND ORDAINED, this _____ day of _____, 2026 by the College Township Council, Centre County, Pennsylvania.

ATTEST:

COLLEGE TOWNSHIP COUNCIL:

Adam Brumbaugh, Secretary

Susan Trainor, Chair



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council
From: Adam Brumbaugh, Township Manager
Thru: Mike Bloom, Assistant Township Manager
Re: OB-3 – Comments on Winter Sports Weekend
Date: March 2, 2026, for March 5th meeting

Background:

At the February 19th meeting under Committee reports, Council discussed a request by the COG Public Safety Committee for municipalities to provide comments on the Penn State Winter Sports Weekend. Council directed staff to prepare a draft list of comments for Council to review at the March 5th meeting.

Events Summary:

From Wednesday, January 28th through Sunday, February 1st, Penn State hosted a total of 19 events on campus. Of those events, 13 were held in Penn State facilities located in College Township. On both January 30th and January 31st, there were 4 or more events held each day in College Township.

College Township is host for the following Penn State facilities, where sporting events or other events regularly attract many attendees and participants:

- Beaver Stadium
- Bryce Jordan Center
- Pegula Ice Arena
- Indoor Track Facility
- Medlar Field
- Ag Arena
- Panzer Lacrosse Stadium
- Jeffery Soccer Field
- Beard Softball Field, and
- Various PSU intramural fields

Past Practice:

College Township has a long history of working with Penn State, and specifically Intercollegiate Athletics (ICA), in managing football gameday events 7 or 8 times a year. For gameday events, there is a well-known protocol to the organization of permits, parking and traffic controls. This required essential coordination amongst multiple entities including ICA, PennDOT, Emergency Management, LifeLink, Alphas, PA State Police, State College Borough Police and other agencies.

This coordination between agencies with formal plans to handle permits, parking, traffic control and emergency response allows gamedays with well in excess of 100,000+ attendees to occur with minimal, unexpected or unmitigated issues that disrupt the daily activities within the larger community.

Capacity:

In addition to good coordination for football events, College Township and other Centre Region municipalities experience few major problems when other smaller planned events that take place at various venues on campus.

As an example, the Bryce Jordan Center has a total capacity of approximately 16,000 seats and Pegula Ice Arena has capacity of approximately 6,000 seats. If sold-out events occur at both venues, the 20,000+/- attendees can typically maneuver in and out of their respective venues without the need for major traffic modifications.

However, on those occasions where more than 20,000+ fans attend one or more events on campus, traffic flows slow considerably in the absence of a coordinated traffic plan. Existing traffic signals “run free” – operate as normal – creating the potential for delay and even significant backlogs of traffic.

Depending on the number of attendees, the lack of coordinated traffic and parking contingency plans will bring vehicular traffic to the point of gridlock. Recent instances of major traffic disruptions occurred during the Winter Sports Weekend and the Luke Combs concert at Beaver Stadium.

Future Use of Beaver Stadium:

Once renovation of Beaver Stadium is complete in 2027, it is anticipated that ICA will look to utilize the stadium for significantly more events outside of the usual 7-8 football games per season. If any of those single events or combination of events occurring on east campus are expected to exceed 20,000 attendees, there needs to be a coordinated traffic plan, along with parking contingency plans, in place to avoid the type of significant traffic impacts that occurred at the aforementioned events.

These plans will require direct communication with State College Borough Police, PennDOT, Alphas, College Township and other agencies to ensure that anticipated traffic can arrive and depart their destination in an efficient manner. Of the utmost importance is that these plans also provide for unfettered access to critical facilities, such as the Mount Nittany Medical Center.

Said plans will also provide for reasonable contingency for weather events that result in disruptions to plans. As example, in the instance of a 12-inch snow event, such as occurred during the Winter Sports Weekend, there must be a workable plan to direct, reroute and/or detour vehicles to appropriate parking and/or transportation to the stadium.

Impact on Emergency Response & Volunteers:

It is also important that ICA recognize that the Centre Region and broader Centre County community has a total population of roughly 160,000 people. As such, aside from paid police, all emergency services – EMS and Fire response – are provided by community volunteers.

Holding multiple events in a day or even multiple events over the course of several consecutive days’ stresses emergency response beyond capacity. Coupling a community’s stressed ability to handle emergency response, with events that do not have coordinated traffic & contingency plans is courting disaster.

Requested Action:

Council is asked to review and provide feedback on the provided comments.

Staff will utilize Council’s feedback on these comments to prepare a letter from College Township to the COG Public Safety Committee in response to their request.



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council

From: Adam Brumbaugh, Township Manager

Thru: Keri Kenepp, Community & Economic Development Director

Re: NB-1 New Position – Economic Development Specialist

Date: February 24, 2026, for March 5th Meeting

Background:

As part of the formation of the Community & Economic Development Department and the promotion of Keri Kenepp to serve as Director, the College Township Industrial Development Authority (CTIDA) evaluated its ongoing staffing needs and relationship with College Township. Through multiple discussions between the CTIDA Board and Township staff, it was determined that the Community & Economic Development Director would continue to provide high-level Executive Director oversight of the CTIDA as part of the new department's responsibilities and, therefore, to support day-to-day operations and administrative functions, the CTIDA has requested to contract part-time services to fulfill its remaining administrative needs.

Proposed New Position:

Proposed is the creation of a part-time (25 hours per week) Economic Development Specialist position within the Community & Economic Development Department. The position will report directly to the Community & Economic Development Director and provide administrative, financial coordination, and program support to the College Township Industrial Development Authority (CTIDA) to advance the Township's economic development initiatives.

The Economic Development Specialist will play a key support role in ensuring the smooth and efficient operation of the CTIDA and related economic development efforts. Responsibilities will include preparation of meeting materials and minutes, maintenance of organized records and compliance documentation, coordination of financial processing with the Finance Department, grant research and reporting, stakeholder communication, and general administrative support.

By providing structured administrative support to the Director and CTIDA, the position will strengthen organizational efficiency and allow senior leadership to focus on strategic initiatives, policy development, and long-range planning. This position is intended to enhance the CTIDA's capacity to manage economic development programs, maintain regulatory and financial compliance, support board governance functions, and deliver timely communication and reporting.

Recommendation:

Staff is pleased to recommend the creation of the Economic Development Specialist position under the direct supervision of the Community & Economic Development Director.

Included for Council's review are the following:

- **NB-1.a.** - Draft Economic Development Specialist job description.
- **NB-1.b.** - Proposed modifications to 2026 Wage Range Schedule to add the position.

If approved, the position is expected to be filled early in 2026.

Requested Action:

Council is asked to approve the job description and wage range for the new Economic Development Specialist position.

Job Title: Economic Development Specialist (EDS)**Department:** Community and Economic Development**Reports To:** Community and Economic Development Director**FLSA Status:** Hourly, Non-Exempt

Position Summary

The Economic Development Specialist is a part-time (25 hours per week), College Township position that provides smooth, accurate, and efficient support of the College Township Industrial Development Authority (CTIDA). The EDS is responsible for producing timely documentation, organized records, accurate financial coordination, and effective stakeholder communication that collectively enhances CTIDA's ability to deliver programs, manage compliance, and advance community economic development initiatives.

Essential Duties & Responsibilities

- Prepare meeting agendas and distribute prior to each meeting.
- Ensure minutes are drafted and reviewed after each meeting.
- Maintain and ensure all board policy and procedure documentation is updated and stored in an accessible, organized system.
- Coordinate communication with College Township staff, CTIDA members, clients, and community stakeholders.
- Ensure required data sets are collected and validated by established deadlines.
- Complete monthly, quarterly, or project-specific reports in a timely manner.
- Maintain all financial records, filings, and compliance materials in a retrievable system with consistent naming conventions.
- Submit Accounts Payable/Receivable to the Finance Department.
- Submit compliance-related filings on time.
- Coordinate and schedule partner meetings and community updates.
- Draft newsletters, maintain website updates, and social media posts on agreed timelines.
- Update marketing materials or create new upon request or project initiation.
- Research and summarize grant opportunities.
- Facilitate completion of all grant applications before internal deadlines with correct formatting and attachments.
- Submit grant reporting materials on schedule with no compliance issues.
- Process new program applications from potential clients.
- Maintain client documentation.
- Respond to incoming inquiries from clients or potential clients.
- Update filing systems (electronic and physical) weekly with clear structure and naming consistency.
- Produce all correspondence, memos, and communications requested.

- Complete general administrative support tasks.
 - Performs other related tasks assigned, contributing to the overall success of the Community and Economic Development departmental efforts.
-

Required Qualifications

- Associate's Degree (or higher) in Business / Public Administration or related field.
 - Education & Experience may be considered as a replacement for a degree.
 - Experience with Microsoft Office Suite (Excel, PowerPoint, Word, etc)
 - Possess or ability to learn QuickBooks and basic financial processing.
 - Possess or ability to learn basic data analysis and reporting skills.
 - Possess or ability to learn graphic design and/or content creation experience
 - Possess or ability to learn grant writing and grants management.
-

Preferred Qualifications

- Bachelor's Degree (or higher) in relevant field.
 - Experience with economic development, non-profit administration, or government programs.
-

Certifications:

- Possession of a valid Pennsylvania driver's license.
-

Key Outcomes for Success

- Delivers quality work on time, owns outcomes, and consistently meets expectations without needing follow-up.
 - Manages multiple projects, deadlines, and documentation with a high level of accuracy and structure—critical for board support, grants, filings, and program records.
 - Anticipates needs, solves problems independently, and keeps work moving without waiting for direction, especially important in a small, high-impact team.
 - Communicates clearly, professionally, and promptly with board members, partners, clients, and internal staff; represents the Township and CTIDA with credibility.
-

Physical Demands and Work Environment

The physical requirements listed below represent those necessary to successfully perform the essential functions of this position. **Reasonable accommodation will be made for qualified individuals with disabilities in accordance with applicable laws.**

While performing the duties of this role, the employee will:

- Regularly communicate verbally and listen attentively.

- Frequently use hands and fingers to handle objects, tools, or controls.
- Occasionally stand, walk, sit, reach with arms, climb or balance, and stoop, kneel, crouch, or crawl.
- Occasionally lift and/or move items weighing up to **45 pounds**.
- Maintain visual acuity sufficient for reading, writing, and computer work.

The typical work environment is an office setting with a **moderate noise level**.

Disclaimer

This job description is intended to outline the general nature and level of work performed by individuals in this position. It is not an exhaustive list of all duties, responsibilities, and qualifications required. Employees may be asked to perform additional tasks as needed. Nothing in this document creates an employment contract, expressed or implied, other than an **at-will employment relationship**. Duties and responsibilities may be modified to reasonably accommodate individuals with disabilities.

Acknowledgement

The job description has been reviewed with me by my manager. I have been provided with the opportunity to ask questions regarding any aspect of this job description.

MANAGER	Print:	Sign:	Date:
EMPLOYEE	Print:	Sign:	Date:

Legal Disclaimer: *The Jobs Description is intended for informational purposes only, and by no means should replace or substitute any governmental and/or non-governmental legal information or advice.*

WAGE RANGES

NB-1.b.

	2026 Approved				
	MINIMUM	MAXIMUM			
Twp. Manager	\$ 117,974	\$ 165,164			
Twp. Engineer	\$ 98,158	\$ 137,421			
Finance Director	\$ 98,158	\$ 137,421			
Public Works Director	\$ 98,158	\$ 137,421			
Community & Economic Development Director	\$ 98,158	\$ 137,421			
Assistant Township Manager	\$ 85,355	\$ 119,496			
Assistant Twp. Engineer	\$ 85,355	\$ 119,496			
Principal Planner	\$ 85,355	\$ 119,496			
Economic Development Coordinator	\$ 85,355	\$ 102,426			
PW Operations & Technology Manager	\$ 69,742	\$ 97,639			
Road & Water Utility Superintendent	\$ 69,742	\$ 97,639			
Zoning Administrator	\$ 69,742	\$ 97,639			
Management Analyst	\$ 69,742	\$ 97,639			
Public Works Foreman	\$ 60,645	\$ 84,903			
Executive Secretary	\$ 52,735	\$ 73,829			
Accountant	\$ 52,735	\$ 73,829			
Signal Tech / Senior OEO	\$ 52,735	\$ 73,829			
GIS & Technology Specialist	\$ 52,735	\$ 73,829			
Water Laborer - Technician I	\$ 52,735	\$ 73,829			
PW Mechanic - Laborer	\$ 52,735	\$ 73,829			
Human Resource Specialist	\$ 52,735	\$ 73,829			
Engineering Technician	\$ 52,735	\$ 73,829			
Public Works Crew Leader	\$ 46,152	\$ 64,614			
Water Laborer - Technician II	\$ 46,152	\$ 64,614			
PW Road Laborer	\$ 46,152	\$ 64,614			
Accounting Assistant	\$ 43,955	\$ 61,537			
Sr. Support Speicalist - Engineering	\$ 43,955	\$ 61,537			
Sr. Support Speicalist - Zoning	\$ 43,955	\$ 61,537			
Customer Service Rep.	\$ 41,862	\$ 58,607			
Finance Office Assistant	\$ 41,862	\$ 58,607			
Admin. Communications Specialist	\$ 41,862	\$ 58,607			
OEO	\$ 41,862	\$ 58,607			
<i>Economic Development Specialist - Part-time</i>	<i>\$ 26,000</i>	<i>\$ 39,000</i>			

*Note: 2026 Proposed wage range is adjusted by BLS CPI 12-month average change calculated for November, 2025



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Council

From: Amy J. Kerner, P.E., Public Works Director

Thru: Adam Brumbaugh, Township Manager

Re: Bellefonte Railroad Historical Society
Mt. Nittany Road Crossing – Proposed Crossing Work

Date: February 25, 2026

Mr. Richard Poletto, volunteer for the Bellefonte Railroad Historical Society has submitted the attached information regarding proposed construction at the Mt. Nittany Road Railroad Crossing in Lemont, slated for the week of April 6, 2026.

Included in the information is a request for assistance from College Township in the form of labor, equipment and materials. Specifically, the Township has been asked:

1. To permit the closure of Mt. Nittany Road for three (3) days. *Since school will still be in session, coordination regarding the detour will be communicated to the school district.*
2. To provide a dump truck and driver for three (3) days.
3. To provide a backhoe and operator for three (3) days.
4. To haul away the old ballast, pavement, etc. *Assumption is that all waste can be sent to a clean fill site. Costs associated with other means of disposal have not been estimated.*
5. To repave the crossing once the work is completed.

Staff has researched the estimated costs based on previous projects and current charge rates. Below is a summary of the associated costs with each portion of the project:

Road Closure and Detour	\$1,500
Driver and Single-axle Dump Truck (8 hrs for 3 days @ \$101/hr)	\$2,424
Operator and Backhoe (8 hrs for 3 days @ \$109/hr)	\$2,616
Hauling Costs – (assume 4 loads @ \$35/load)	\$140
Asphalt (25mm Base Course – 9 ton @ \$67.35/ton)	\$606
Asphalt (9.5 mm Wearing Course – 5 ton @ \$80.35/ton)	\$400
Estimated Cost	\$7,546

Staff has discussed upcoming spring work and determined that this project could be scheduled for the week of April 6th, barring any inclement weather.

Council is asked to review this information and provide direction regarding:

1. Permission to close the road and establish a detour for three (3) days.
2. Expenditure of staff and resources, as requested.

› BELLEFONTE HISTORICAL RAILROAD SOCIETY

LEMONT TRACK WORK PROPOSAL FOR 2025

Mt. Nittany Road Grade Crossing

Assumptions

- Grade crossing will be closed for three (3) days.
- Four (4) BHRS members will assist in the work for each of two (2) days.
- Two (2) sticks of # 85 PRR rail currently on hand will be used in the crossing.¹
- New cross ties to be spaced on ~~18"~~^{32"} centers.
- This will be a bituminous crossing (no timbers or other materials)
- Width of pavement currently: Need to know this.
- BHRS members will assist with gathering materials before work begins.
- Time frame: April/May -or- September/October

Materials & Cost Estimates²

- Ties: Sixteen (16) new 7 X 9 X 8'6" @ \$60/each = \$960.00³
- Ballast stone: Twenty (20 tons of # 2B @ \$20/ton = \$400.00
- Tie plates: Thirty-two (32) @ \$7/each = \$224.00
- Spikes: One (1) keg @ \$200 = \$200.00
- Air compressor rental: Two (2) days @ \$200/day = ~~\$400.00~~ 427 + 2.50 FT HOSE

College Township

- Close crossing
- Provide backhoe & operator for two (2) days.⁴
- Provide dump truck & driver for disposal of old ties, etc.
- Repave crossing.

Stuff I can Borrow (I think)

- Two (2) jitterbugs for tamping (East Broad Top)
- Spiking gun (Walkersville Southern)
- Pavement breaker (WS)
- Rail saw (EBT)
- Rail drill (WS)

Tie Replacement in Lemont Main Track

- We should plan on replacing fifty (50) ties this calendar year.

Submitted by Gene Tucker
January 16, 2025

¹ This assumes that a 33' stick will go all the way across the pavement with no joints in the pavement. If we want to use # 100 rail, expect to pay \$400/stick (X two sticks) for the heavier rail. Also, comp bars will be required, at c. \$250/pair.

² Costs are estimates only.

³ EBT bought new ties with copper-nap treatment for its crossing projects last summer from Mellott Wood Preservers for \$53/each.

⁴ If a BHRS member has a backhoe/tractor, that'd be OK.

REQUIRED MATERIAL

2 STICKS OF #85 RAIL 30'

22 TIES

44 TIE PLATES

88 SPIKES

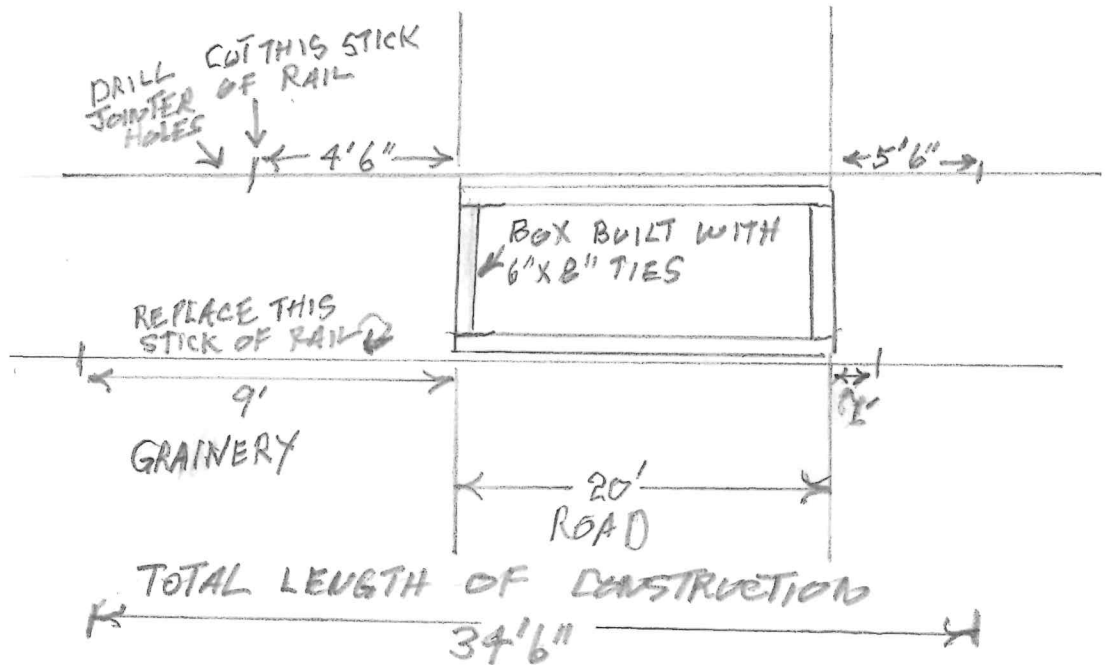
16 JOINTER BOLTS + NUTS

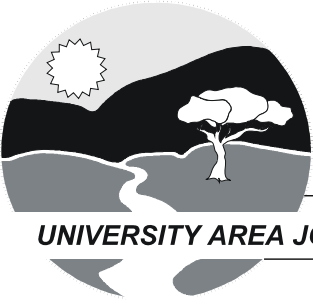
6 6" X 8" X 8' TIES

? LAG BOLTS TO SECURE BOX

SILICONE SEALER FOR SPIKES

10 TON #3 STONE BALAST





UNIVERSITY AREA JOINT AUTHORITY

1576 Spring Valley Road
State College, PA 16801

EXECUTIVE DIRECTOR'S REPORT

February 18, 2026

INFORMATION ITEMS

State College Borough Delinquency

The unpaid balance for the State College Borough is \$4,530,339.87.

ACTION ITEMS

2. Approval of the Minutes

3. Public Comment

3.1 Other items not on the agenda

4. Old Business

4.1 Biosolids Financial Status and Projected Start-up Schedule Presentation

The Biosolids Project is entering the start-up phase. Many meetings have been held to discuss the start up of the entire system, breaking it down into a detailed sequence. In addition, the financial projections have been updated to reflect the current and projected project change orders.

Recommendation: Presentation, no action anticipated.

5. New Business

5.1 Change Order No. 13 Contract 2022-01 Quandel Construction

The Quandel CO is comprised of several items. The larger items are related to ductwork on the Dryer and the inbound scale for the facility. For the ductwork, there was significantly more ductwork on the final unit than was shown in the bidding documents by Veolia. The ductwork was modified and optimized by the team and UAJA was given credit for the previously shown materials. However, there are some additional ducts and footage, and this CO finalizes those costs.

For the scale, the Contractor proposed a deck scale that had less construction cost but required significantly more long-term operations costs and increased risks related to truck rollover. We asserted for an at grade scale that reduced those risks and long-term costs, but it required more excavation and rock was encountered. As this was an undefined item, we negotiated that the Authority should only be partly responsible for the change as the Contractor could have confirmed prior to work beginning. As such, this CO is only for a portion of the costs for the scale foundation installation.

The total amount of this change order is a net increase of \$151,548.00

Recommendation: Approve Change Order No. 13, Contract 2022-01, for a net increase of \$151,548.00.

5.2 Change Order No. 10 Contract 2022-04 Hayden Power Group

This change order captures two work change directives previously issued: Adding two heaters to the new garage and relocating the disconnects for the gas compressors to address Code review comments. The total amount of this change order is an increase of \$21,480.65

Recommendation: Approve Change order No. 10, Contract 2022-04, for a net increase of \$21,480.65.

5.3 Requisitions

BRIF #1061	East End Sales Flat Bed & Box Trailer Down Payment	\$5,970.00
BRIF #1062	Hite Company Persia Pump Station/Booster Station Parts	\$27,696.37
BRIF #1063	Xylem Water Solutions Persia Pump Project (Misc. Materials)	\$1,575.00
BRIF #1064	HRG Reuse Water Tank Maintenance Project	\$800.00
BRIF #1065	Cooper Electric Persia Pump Station Project (Misc. Materials)	\$470.41
BRIF #1066	Spartan Composites Composite Mats	\$21,520.00
TOTAL BRIF-		\$58,031.78
Construction Fund #055	Hillis-Carnes Engineering Sludge Drying Project- Inspection	\$175.00
Construction Fund #056	Quandel Construction Group Pay App. #26- Sludge Drying Project-General	\$469,840.07
Construction Fund #057	Myco Mechanical Pay App. #16- Sludge Drying Project-Plumbing	\$62,271.55
Construction Fund #058	Myco Mechanical Pay App. #21- Sludge Drying Project-HVAC	\$19,333.48
Construction Fund #059	Hayden Power Group Pay App. #22- Sludge Drying Project-Electrical	\$530,577.58
TOTAL 2025 CONSTRUCTION FUND (Biosolids)-		\$1,082,197.68
Revenue Fund #225	Debt Service, Operation and Maintenance Expenses	\$1,000,000.00
TOTAL REVENUE FUND-		\$1,000,000.00

6. Reports of Officers

7. Other Business

8. Adjournment

Centre Area Transportation Authority

Single Audit

June 30, 2025

MaherDuessel

CENTRE AREA TRANSPORTATION AUTHORITY

YEARS ENDED JUNE 30, 2025 AND 2024

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CENTRE AREA TRANSPORTATION AUTHORITY

YEARS ENDED JUNE 30, 2025 AND 2024

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Independent Auditor's Report

**Board of Directors
Centre Area Transportation Authority**

Report on the Audit of the Financial Statements

Opinion

We have audited the accompanying financial statements of the business-type activities of the Centre Area Transportation Authority (Authority), as of and for the years ended June 30, 2025 and 2024, and the related notes to the financial statements, which collectively comprise the Authority's basic financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the financial position of the Authority, as of June 30, 2025 and 2024, and the changes in financial position, and cash flows thereof for the years then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinion

We conducted our audits in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the Authority and to meet our other ethical responsibilities in accordance with the relevant ethical requirements relating to our audits. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Authority's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards *and Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Authority's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Authority's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control related matters that we identified during the audit.

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the required supplementary information listed in the table of contents be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate

operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audits of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Supplementary Information

Our audits were conducted for the purpose of forming opinions on the financial statements that collectively comprise the Authority's basic financial statements. The supplementary information listed in the table of contents and the schedule of expenditures of federal awards, as required by Title 2 U.S. *Code of Federal Regulations* (CFR) Part 200, *Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards* are presented for purposes of additional analysis and are not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the supplementary information is fairly stated, in all material respects, in relation to the basic financial statements as a whole.

Other Reporting Required by Government Auditing Standards

In accordance with *Government Auditing Standards*, we have also issued our report dated January 26, 2026, on our consideration of the Authority's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Authority's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Authority's internal control over financial reporting and compliance.

Maher Duessel

Pittsburgh, Pennsylvania
January 26, 2026

CENTRE AREA TRANSPORTATION AUTHORITY

MANAGEMENT'S DISCUSSION AND ANALYSIS

JUNE 30, 2025

The following Management's Discussion and Analysis of the Centre Area Transportation Authority's (Authority) financial performance provides an introduction to the Authority's basic financial statements for the fiscal years ended June 30, 2025 and 2024. Please read it in conjunction with the Authority's financial statements.

Authority Activities and Highlights

- The Authority's net position decreased by \$3,106,153, or 5.71% for the year ended June 30, 2025, compared to an increase of \$1,785,661, or 3.39% for the year ended June 30, 2024, and a decrease of \$1,839,476, or 3.38% for the year ended June 30, 2023.
- The Authority's operating revenues decreased \$251,960, or 3.37%, and operating expenses, including depreciation, decreased \$175,050, or 0.67% for the year ended June 30, 2025, as compared to 2024 where operating revenues increased by 4.44% and operating expenses, including depreciation, increased by 8.61%. Passenger fares account for the decrease in revenues. The primary reasons for the decrease in operating expenditures include:
 - Increase in salaries and wages as well as employee benefit costs of \$538,608 based on the current representative employee agreement, board approved non-represented wage increases and increases in benefits costs from vendor providers. This increase was offset by the following:
 - Decrease in purchased transportation of \$538,144 resulting from a decrease in ridership in 2025 as compared to 2024.
 - Decrease in depreciation expense of \$370,874 resulting from capital assets being fully depreciated in the prior year.
- The Authority provided approximately 4,902,707 trips and recorded 1,261,389 total revenue miles during the year ended June 30, 2025 in fixed route service. Demand responsive paratransit service and micro-transit accounted for an additional 52,677 trips and 337,477 revenue miles, and commuter services provided 50,119 trips and 263,809 revenue miles.
- Operational highlights for the year ended June 30, 2025 include the Authority reducing its active fleet by 23 fixed route buses to meet the required Federal Transit Agency spare ration. Ten of these buses were transferred to LA County Metro for support of the 2028 Summer Olympics. The remainder of the 23 buses were placed in a contingency fleet to respond to local and state emergency transportation requests. An additional five buses will be sold through public auction. CATA received a capital

grant award from PennDOT in the amount of \$4,900,439. The majority of this funding will be utilized for fixed route and on-demand vehicle replacement.

Overview of the Financial Statements

The Authority's basic financial statements include a statement of net position, statement of revenues, expenses, and changes in net position, statement of cash flows, and notes to financial statements. This report also includes other supplementary information.

The Authority's financial statements are prepared on the accrual basis in accordance with accounting principles generally accepted in the United States of America promulgated by the Governmental Accounting Standards Board.

Statement of Net Position - The statement of net position presents the financial position of the Authority and includes information on the Authority's assets and liabilities, with the difference between them reported as net position. Over time, increases or decreases in net position may serve as a useful indicator of whether the financial position of the Authority is improving or deteriorating.

Statement of Revenues, Expenses, and Changes in Net Position - The statement of revenues, expenses, and changes in net position presents information showing how the Authority's net position changed during the most recent fiscal year. All changes in net position are reported as soon as the underlying event giving rise to the change occurs, regardless of the timing of related cash flows. Revenues are recognized when earned, not when they are received. Expenses are recognized when incurred, not when they are paid. Thus, revenues and expenses are reported in this statement for some items that will only result in cash flows in future fiscal periods.

Statement of Cash Flows - The statement of cash flows presents information on the effect changes in assets and liabilities have on cash during the course of the fiscal year.

Notes to Financial Statements - The notes provide additional information that is essential to a full understanding of the data provided in the Authority's financial statements. The notes to financial statements are included in this report.

Financial Analysis

Net Position - As noted earlier, net position may serve over time as a useful indicator of a government's financial position. In the case of the Authority, assets exceed liabilities by \$51,323,937, \$54,430,090 and \$52,644,429, at June 30, 2025, 2024, and 2023, respectively.

A condensed summary of the Authority's statement of net position is presented below at June 30:

	<u>2025</u>	<u>2024</u>	<u>2023</u>
<u>Assets</u>			
Current and other assets	\$ 33,344,048	\$ 29,317,704	\$ 25,944,051
Capital assets	<u>51,940,765</u>	<u>55,680,734</u>	<u>53,338,803</u>
Total Assets	<u>85,284,813</u>	<u>84,998,438</u>	<u>79,282,854</u>
<u>Liabilities</u>			
Current liabilities	33,410,922	29,994,718	26,129,958
Noncurrent liabilities	<u>549,954</u>	<u>573,630</u>	<u>508,467</u>
Total Liabilities	<u>33,960,876</u>	<u>30,568,348</u>	<u>26,638,425</u>
<u>Net Position</u>			
Investment in capital assets	51,846,860	55,680,734	53,338,803
Unrestricted	<u>(522,923)</u>	<u>(1,250,644)</u>	<u>(694,374)</u>
Total Net Position	<u>\$ 51,323,937</u>	<u>\$ 54,430,090</u>	<u>\$ 52,644,429</u>

By far the largest portion of the Authority's net position reflects in its investment in capital assets (e.g., land, construction-in-process, buildings, vehicles, and equipment). The Authority receives capital grant funding from the federal, state, and local governments to acquire these capital assets. Therefore, certain restrictions are placed on their disposal. The Authority uses these capital assets to support and provide public transportation services. For this reason, and due to the restrictions placed on the disposal of these capital assets, these assets are not available for future spending.

Changes in Revenues and Expenses - A condensed summary of the Authority's statement of revenues, expenses, and changes in net position is presented below for the years ended June 30:

	<u>2025</u>	<u>2024</u>	<u>2023</u>
Operating Revenues:			
Passenger fares	\$ 6,881,599	\$ 6,997,372	\$ 6,717,503
Grant subsidized fares	147,661	178,805	157,237
Other operating revenues	186,321	291,364	275,542
Total operating revenues	<u>7,215,581</u>	<u>7,467,541</u>	<u>7,150,282</u>
Operating Expenses:			
Salaries and wages	10,790,715	10,174,168	9,601,403
Fringe benefits	4,318,687	4,396,626	3,526,618
Purchased transportation	2,160,806	2,698,950	2,309,550
Depreciation	4,477,029	4,847,883	4,392,939
Other operating expenses	4,290,556	4,095,216	4,303,488
Total operating expenses	<u>26,037,793</u>	<u>26,212,843</u>	<u>24,133,998</u>
Operating Income (Loss)	<u>(18,822,212)</u>	<u>(18,745,302)</u>	<u>(16,983,716)</u>
Nonoperating Revenues (Expenses):			
Federal government	4,128,191	5,859,909	10,171,404
State government	8,462,406	6,409,242	1,373,640
Local government	813,305	774,576	737,691
Interest income	941,281	853,692	308,515
Interest expense	-	-	(473)
Total nonoperating revenues (expenses)	<u>14,345,183</u>	<u>13,897,419</u>	<u>12,590,777</u>
Capital Grant Funding	<u>1,370,876</u>	<u>6,633,544</u>	<u>2,553,463</u>
Change in Net Position	<u>\$ (3,106,153)</u>	<u>\$ 1,785,661</u>	<u>\$ (1,839,476)</u>

The Authority is dependent on federal, state, and local governments to fund its operations. The funding received from these entities is included in nonoperating revenues.

The Authority's major expenses are salaries and wages and fringe benefits. Operating revenues consist primarily of passenger fares, over half of which represent income from contracts with apartment complexes and Penn State to purchase free-fare transportation for specified passenger groups or on specific routes.

Capital Assets and Debt Administration

Capital Assets

The Authority's investment in capital assets includes land, construction-in-process, buildings, revenue, and service vehicles and equipment, shop and garage equipment, furniture and office equipment, and miscellaneous revenue equipment. Capital acquisitions are recorded at cost and are funded by federal, state, and local government grants.

The Authority's investment in capital assets as of June 30, 2025, 2024, and 2023, net of accumulated depreciation, amounted to \$51,940,765, \$55,680,734, and \$53,338,803, respectively. These amounts represent a net decrease (including additions, deletions, and depreciation) of \$3,739,969 or 6.72% for the year ended June 30, 2025, a net increase (including additions, deletions, and depreciation) of \$2,341,931 or 4.21% for the year ended June 30, 2024, and a net decrease (including additions, deletions, and depreciation) of \$1,839,476 or 3.38% for the year ended June 30, 2023.

	Capital Assets at June 30,		
	2025	2024	2023
Land	\$ 340,700	\$ 340,700	\$ 340,700
Buildings	40,581,340	40,581,340	40,456,100
Revenue vehicles and equipment	46,916,016	47,455,769	40,907,575
Service vehicles and equipment	706,551	687,083	687,083
Shop and garage equipment	659,348	612,235	598,514
Furniture and office equipment	2,036,971	1,816,348	1,809,719
Miscellaneous revenue equipment	1,554,735	1,242,975	975,469
	<u>\$ 92,795,661</u>	<u>\$ 92,736,450</u>	<u>\$ 85,775,160</u>

During the year ended June 30, 2025, the Authority acquired \$737,060 of land, buildings, revenue vehicles, shop and garage equipment, furniture and office equipment, and revenue equipment.

During the year ended June 30, 2024, the Authority acquired \$7,189,814 of buildings, revenue and service vehicles, shop and garage equipment, furniture and office equipment, and revenue equipment.

During the year ended June 30, 2023, the Authority acquired \$2,752,168 of buildings, revenue and service vehicles, shop and garage equipment, furniture and office equipment, and revenue equipment.

For the upcoming fiscal year, the Authority anticipates acquisition of replacement vehicles for its on-demand services and replacement of the service vehicle fleet, continued improvements to shelters and other passengers amenities, and continued upgrades to software, computers,

equipment, and shop equipment. These projects will be funded through federal and state grants, along with the required local matching capital funds.

Additional information on the Authority's capital assets can be found in Note 5 to the financial statements.

Debt Administration

The Authority has a \$5,000,000 line of credit to cover short-term cash flow needs related to the timing of federal, state, and local funding. At June 30, 2025, \$0 was outstanding against the line of credit.

Additional information on the Authority's debt can be found in Notes 6 and 7 to the financial statements.

Economic Factors

Although Centre County is predominantly rural, the Authority's service area includes the main campus of Penn State, with over 50,000 students, staff, and faculty, and the surrounding suburban areas. With parking at a premium on campus, very high population densities along student housing corridors, and increasing traffic congestion, the Authority provides over four million rides each year, an extraordinary number for a small transit system. This extremely high ridership remains the key to obtaining additional federal funds through the Small Transit Intensive Cities (STIC) program, which provides the Authority with additional federal formula assistance annually, and through the Act 89 allocation formula that provides additional state operating assistance for the Authority.

With continued growth in the area over the past few years, the Authority has met demands for new or added services to accommodate riders in new residential and commercial developments being built on the outskirts of the urbanized area and beyond. This is something that may become particularly challenging going forward given limited funding sources, particularly in the capital arena.

Contacting the Authority's Financial Management

This financial report is designed to provide our customers, creditors, and funding agencies with a general overview of the Authority's finances and to show the Authority's accountability for the money it receives. If there are any questions about this report or if additional financial information is required, please contact the Authority's Director of Finance at the Authority, 2081 W. Whitehall Road, State College, Pennsylvania 16801; telephone: 814-238-2282 ext. 5142.

CENTRE AREA TRANSPORTATION AUTHORITY

STATEMENTS OF NET POSITION

JUNE 30, 2025 AND 2024

	2025	2024
Assets		
Current assets:		
Cash and cash equivalents	\$ 31,445,812	\$ 26,605,454
Accounts receivable	1,137,755	900,391
Grants receivable	299,026	1,046,041
Inventory - parts	319,828	334,661
Prepaid expenses	141,627	431,157
Total current assets	<u>33,344,048</u>	<u>29,317,704</u>
Capital assets:		
Non-depreciable	340,700	340,700
Depreciable, net of accumulated depreciation	51,600,065	55,340,034
Total capital assets, net	<u>51,940,765</u>	<u>55,680,734</u>
Total Assets	<u>85,284,813</u>	<u>84,998,438</u>
Liabilities		
Current liabilities:		
Accounts payable	1,141,019	880,867
Accrued payroll expenses	366,980	288,854
Current portion of compensated absences	299,039	-
Unearned revenue	31,603,884	28,824,997
Total current liabilities	<u>33,410,922</u>	<u>29,994,718</u>
Noncurrent liabilities:		
Compensated absences	549,954	573,630
Total noncurrent liabilities	<u>549,954</u>	<u>573,630</u>
Total Liabilities	<u>33,960,876</u>	<u>30,568,348</u>
Net Position		
Net investment in capital assets	51,846,860	55,680,734
Unrestricted	(522,923)	(1,250,644)
Total Net Position	<u>\$ 51,323,937</u>	<u>\$ 54,430,090</u>

The notes to basic financial statements are an integral part of this statement.

CENTRE AREA TRANSPORTATION AUTHORITY

STATEMENTS OF REVENUES, EXPENSES, AND CHANGES IN NET POSITION

YEARS ENDED JUNE 30, 2025 AND 2024

	2025	2024
Operating Revenues:		
Passenger fares	\$ 4,320,915	\$ 4,539,304
Organization-paid fares	2,560,684	2,458,068
State Shared Ride Program	147,661	178,805
Advertising	172,547	200,000
Miscellaneous income	13,774	91,364
Total operating revenues	7,215,581	7,467,541
Operating Expenses:		
Salaries and wages	10,790,715	10,174,168
Fringe benefits	4,318,687	4,396,626
Services	1,671,693	1,512,919
Fuel and lubricants	661,031	677,768
Tires and tubes	81,149	71,399
Other material and supplies	784,564	912,638
Utilities	399,426	306,842
Casualty and liability	396,129	270,968
Purchased transportation	2,160,806	2,698,950
Miscellaneous expense	296,564	342,682
Depreciation	4,477,029	4,847,883
Total operating expenses	26,037,793	26,212,843
Operating Income (Loss)	(18,822,212)	(18,745,302)
Non-operating Revenues (Expenses):		
Government subsidies:		
Federal government	4,128,191	5,859,909
Commonwealth of Pennsylvania Act 44 funds	8,462,406	6,409,242
Local governments Act 44 matching funds	813,305	774,576
Total government subsidies for operations	13,403,902	13,043,727
Interest income	941,281	853,692
Total non-operating revenues (expenses)	14,345,183	13,897,419
Income (loss) before capital grant funding	(4,477,029)	(4,847,883)
Capital grant funding:		
Federal	-	29,519
State	1,326,609	6,413,945
Local	44,267	190,080
Total capital grant funding	1,370,876	6,633,544
Net Income (Loss)	(3,106,153)	1,785,661
Net Position:		
Beginning of year	54,430,090	52,644,429
End of year	\$ 51,323,937	\$ 54,430,090

The notes to basic financial statements are an integral part of this statement.

CENTRE AREA TRANSPORTATION AUTHORITY

STATEMENTS OF CASH FLOWS

YEARS ENDED JUNE 30, 2025 AND 2024

	2025	2024
Cash Flows From Operating Activities:		
Receipts from customers	\$ 6,639,375	\$ 7,278,523
Receipts from operating grants and other receipts	333,982	470,169
Payments to employees for salaries and benefits	(14,755,913)	(14,497,449)
Payments for goods and services	(5,980,752)	(6,682,954)
Net cash provided by (used in) operating activities	(13,763,308)	(13,431,711)
Cash Flows From Non-Capital Financing Activities:		
Operating subsidies	16,815,394	17,910,133
Cash Flows From Capital and Related Financing Activities:		
Capital grants received	1,490,146	6,566,607
Payments for acquisition and construction of capital assets	(643,155)	(7,189,814)
Net cash provided by (used in) capital and related financing activities	846,991	(623,207)
Cash Flows From Investing Activities:		
Interest received	941,281	853,692
Net cash provided by (used in) investing activities	941,281	853,692
Increase (Decrease) in Cash and Cash Equivalents	4,840,358	4,708,907
Cash and Cash Equivalents:		
Beginning of year	26,605,454	21,896,547
End of year	\$ 31,445,812	\$ 26,605,454
Reconciliation of Operating Income (Loss) to Net Cash Provided by (Used in) Operating Activities:		
Operating income (loss)	\$ (18,822,212)	\$ (18,745,302)
Adjustments to reconcile operating income (loss) to net cash provided by (used in) operating activities:		
Depreciation expense	4,477,029	4,847,883
Change in assets and liabilities:		
Accounts receivable	(237,364)	281,938
Inventory - parts	14,833	43,127
Prepaid expenses	289,530	(244,971)
Accounts payable	166,247	313,056
Accrued payroll expenses	78,126	8,182
Unearned revenue	(4,860)	(787)
Compensated absences	275,363	65,163
Total adjustments	5,058,904	5,313,591
Net cash provided by (used in) operating activities	\$ (13,763,308)	\$ (13,431,711)

The notes to basic financial statements are an integral part of this statement.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

1. Reporting Entity

The Centre Area Transportation Authority (Authority) was created on May 17, 1974 by the Borough of State College under the laws of the Commonwealth of Pennsylvania Municipality Authorities Act of 1945, P.L. 382, as amended, for the purpose of providing public transportation within Centre County. In February 1982, the Authority was reorganized as a joint authority by the Borough of State College and the Townships of College, Ferguson, Harris, and Patton. The Authority is governed by a five-member board, with one board member appointed by each of the participating municipalities.

Under provisions of accounting principles generally accepted in the United States of America (GAAP), the criteria used by the Authority to evaluate its inclusion as a component unit of the participating municipalities are financial accountability and the nature and significance of the relationship. Accordingly, the Authority is excluded as a component unit of the participating municipalities in their respective financial statements.

The Authority provides standard bus service on fixed routes, vanpool services, and door-to-door transportation services to the general public and to qualifying elderly and disabled persons at special fares.

The Authority is funded by a combination of passenger fares, other operating revenues, and federal, state, and local operating and capital grants.

2. Summary of Significant Accounting Policies

Basis of Accounting

The activities of the Authority are presented as an Enterprise Fund because the operations are financed and operated in a manner similar to private business enterprises, where the intent of the governing body is that the costs of providing goods or services to the general public on a continuing basis be financed or recovered primarily through user charges and grant revenues.

The financial statements are reported using the economic resources measurement focus and the accrual basis of accounting. Revenues are recorded when earned and expenses are recorded when a liability is incurred, regardless of timing of related cash flows. Grants and similar items are recognized as revenues as soon as all eligibility requirements imposed by the provider have been met.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

Use of Estimates

The preparation of financial statements in accordance with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities, and disclosure of contingent assets and liabilities, at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from those estimates.

Cash and Cash Equivalents

For purposes of reporting cash flows, the Authority considers all cash accounts, which are not subject to withdrawal restrictions or penalties, and all highly liquid debt investments purchased with a maturity of three months or less to be cash and cash equivalents.

Accounts Receivable

All accounts receivable are shown net of an allowance for uncollectibles, as applicable. Accounts receivable in excess of 90 days are evaluated for collectability and an allowance is established, as deemed necessary, based on the best information available and in an amount that management believes is adequate. Accounts receivable are written off when deemed uncollectible. Recoveries of accounts receivable previously written off are recorded when received. The allowance as of June 30, 2025 and 2024 was \$0.

Inventory and Prepaid Expenses

Inventory is valued at the lower of cost or market on a first-in, first-out basis method.

Certain payments to vendors reflect costs applicable to future accounting periods and are recorded as prepaid expenses.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

Capital Assets

Capital assets include property, plant, and equipment with a cost in excess of \$500 and a useful life greater than one year and are recorded at historical cost and depreciated utilizing the straight-line method over their estimated useful lives as follows:

Buildings	10 to 45 years
Revenue vehicles and equipment	4 to 12 years
Service vehicles and equipment	5 to 10 years
Shop and garage equipment	10 to 15 years
Furniture and office equipment	4 to 15 years
Miscellaneous revenue equipment	5 to 12 years

The cost of maintenance and repairs of capital assets that do not add value to the asset or materially extend asset lives are expensed when incurred. Upon retirement, sale, or disposition of capital assets, the cost and accumulated depreciation are eliminated from the accounts. Upon the sale of capital assets, the proceeds, net of disposal costs, may be required to be returned to the various funding sources that initially funded the acquisition of these items.

Compensated Absences

The Authority recognizes a liability for compensated absences for leave time that (1) has been earned for services previously rendered by employees, (2) accumulates and is allowed to be carried over to subsequent years, and (3) is more likely than not to be used as time off or settled (for example, paid in cash to the employee or payment to an employee flex spending account) during or upon separation from employment. Based on the criteria listed, two types of leave qualify for liability recognition for compensated absences – vacation and sick.

Vacation

The Authority's policy permits employees to accumulate earned but unused vacation leave, up to 400 hours, which are eligible for payment at the employee's current pay rate upon separation from employment.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

Sick Leave

The Authority's policy permits employees to accumulate earned but unused sick leave on an unlimited basis. All sick leave lapses when employees leave the employment of the Authority. A liability for estimated value of sick leave that will be used by employees as time off is included in the liability for compensated absences.

Compensated absences activity for the years ended June 30, 2025 and 2024 was as follows:

	2025	2024
Beginning balance	\$ 573,630	\$ 508,467
Additions	1,977,767	1,404,130
Reductions	(1,702,404)	(1,338,967)
Ending balance	\$ 848,993	\$ 573,630

Operating and Non-Operating Revenues and Expenses

Operating revenues (consisting mainly of passenger fares and fares paid by organizations) and expenses consist of those revenues and expenses that result from ongoing principal operations of the Authority. Non-operating revenues and expenses consist of grants provided by the Federal Transit Administration (FTA), the Pennsylvania Department of Transportation (PennDOT), various local sources, and those revenues relating to capital items and interest income.

The principal operating revenues of the Authority are charges to an organization paying on behalf of customers for transportation services. Operating expenses include the cost of providing transportation services, administrative expenses, and depreciation on capital assets. All revenues and expenses not meeting this definition are reported as nonoperating revenues and expenses. The principal nonoperating revenues of the Authority are operating and capital grants from the federal, state, and local governments and interest income. The principal nonoperating expenses are interest expense and losses on the disposal of capital assets.

Revenue, Grants Receivable, and Unearned Revenue

Passenger fares are recorded as revenue at the time services are performed.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

The FTA, PennDOT, and various local sources provide financial assistance and make grants directly to the Authority for operation, acquisition of property and equipment, and other capital related expenditures. Grants and contributions are recorded as revenue when all applicable eligibility requirements are met.

Unearned revenue consists primarily of grant funds received prior to incurring eligible expenditures.

Net Position

Net position is classified into three categories as follows:

Net investment in capital assets – This component of net position consists of capital assets, net of accumulated depreciation, reduced by the outstanding balances of bonds, mortgages, notes, or other borrowings that are attributable to the acquisition, construction, or improvement of those assets.

Restricted – This component of net position consists of constraints placed on net position use through external restrictions.

Unrestricted – The component of net position consists of net position that does not meet the definition of “restricted” or “net investment in capital assets.”

When both restricted and unrestricted resources are available for use, it is the Authority’s policy to use restricted resources first, then unrestricted resources as they are needed.

Adopted Pronouncements

The following GASB Statements were adopted for the year ended June 30, 2025: Statement Nos. 101 (Compensated Absences) and 102 (Certain Risk Disclosures). These statements had no significant impact on the Authority’s financial statements for the year ended June 30, 2025.

Pending Pronouncements

GASB has issued statements that will become effective in future years including Statement Nos. 103 (Financial Reporting Model Improvements) and 104 (Disclosure of Certain Capital Assets). Management has not yet determined the impact of these statements on the financial statements.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

3. Deposits

Pennsylvania statutes provide for investment of governmental funds into certain authorized investment types including U.S. Treasury bills, other short-term U.S. and Pennsylvania government obligations, short-term commercial paper issued by a public corporation, banker's acceptances, insured or collateralized time deposits, and certificates of deposit. Statutes do not prescribe regulations related to demand deposits; however, they do allow pooling of governmental funds for investment. There were no Authority deposit transactions during the years that were in violation of the state statutes.

The following is a description of the Authority's deposit and investment risks:

Custodial credit risk is the risk that in the event of a bank failure, the Authority's deposits may not be returned to it. The Authority has a deposit policy for custodial risk that requires depository institutions to pledge securities as collateral for deposits that exceed depository insurance. As of June 30, 2025 and 2024, \$31,147,999 and \$26,533,232 of the Authority's bank balance of \$31,397,999 and \$26,783,232, respectively, was exposed to custodial credit risk but was collateralized in accordance with Act 72 of the Pennsylvania state legislature, which requires the institution to pool collateral for all governmental deposits and have the collateral held by an approved custodian in the institution's name. These deposits have carrying amounts of \$31,445,812 and \$26,605,454, respectively, at June 30, 2025 and 2024.

4. Grants Receivable

At June 30, 2025 and 2024, grants receivable consisted of the following:

	2025	2024
Federal Transit Administration:		
Operating grant	\$ 7,969	\$ 785,805
Pennsylvania Department of Transportation:		
Capital grant	253,750	231,003
Shared-Ride Program	37,307	29,233
	<u>\$ 299,026</u>	<u>\$ 1,046,041</u>

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

5. Capital Assets

A summary of changes in capital assets is as follows for the year ended June 30, 2025:

	Balance at July 1, 2024	Additions/ Transfers	Deletions/ Transfers	Balance at June 30, 2025
Capital assets not being depreciated:				
Land	\$ 340,700	\$ -	\$ -	\$ 340,700
Total capital assets, not being depreciated	340,700	-	-	340,700
Capital assets being depreciated:				
Buildings	40,581,340	-	-	40,581,340
Revenue vehicles and equipment	47,455,769	120,439	(660,192)	46,916,016
Service vehicles and equipment	687,083	35,546	(16,078)	706,551
Shop and garage equipment	612,235	47,113	-	659,348
Furniture and office equipment	1,816,348	222,202	(1,579)	2,036,971
Miscellaneous revenue equipment	1,242,975	311,760	-	1,554,735
Total capital assets being depreciated	92,395,750	737,060	(677,849)	92,454,961
Less accumulated depreciation for:				
Buildings	6,719,103	1,146,212	-	7,865,315
Revenue vehicles and equipment	27,044,591	3,012,627	(660,192)	29,397,026
Service vehicles and equipment	687,083	42,264	(16,078)	713,269
Shop and garage equipment	490,930	35,827	-	526,757
Furniture and office equipment	1,637,427	133,323	(1,579)	1,769,171
Miscellaneous revenue equipment	476,582	106,776	-	583,358
Total accumulated depreciation	37,055,716	4,477,029	(677,849)	40,854,896
Total capital assets being depreciated, net	55,340,034	(3,739,969)	-	51,600,065
Total capital assets, net	\$ 55,680,734	\$ (3,739,969)	\$ -	\$ 51,940,765

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

A summary of changes in capital assets is as follows for the year ended June 30, 2024:

	Balance at July 1, 2023	Additions/ Transfers	Deletions/ Transfers	Balance at June 30, 2024
Capital assets not being depreciated:				
Land	\$ 340,700	\$ -	\$ -	\$ 340,700
Total capital assets, not being depreciated	<u>340,700</u>	<u>-</u>	<u>-</u>	<u>340,700</u>
Capital assets being depreciated:				
Buildings	40,456,100	125,240	-	40,581,340
Revenue vehicles and equipment	40,907,575	6,775,745	(227,551)	47,455,769
Service vehicles and equipment	687,083	-	-	687,083
Shop and garage equipment	598,514	14,694	(973)	612,235
Furniture and office equipment	1,809,719	6,629	-	1,816,348
Miscellaneous revenue equipment	975,469	267,506	-	1,242,975
Total capital assets being depreciated	<u>85,434,460</u>	<u>7,189,814</u>	<u>(228,524)</u>	<u>92,395,750</u>
Less accumulated depreciation for:				
Buildings	5,483,849	1,235,254	-	6,719,103
Revenue vehicles and equipment	23,901,058	3,371,084	(227,551)	27,044,591
Service vehicles and equipment	635,883	51,200	-	687,083
Shop and garage equipment	459,728	32,175	(973)	490,930
Furniture and office equipment	1,531,458	105,969	-	1,637,427
Miscellaneous revenue equipment	424,381	52,201	-	476,582
Total accumulated depreciation	<u>32,436,357</u>	<u>4,847,883</u>	<u>(228,524)</u>	<u>37,055,716</u>
Total capital assets being depreciated, net	<u>52,998,103</u>	<u>2,341,931</u>	<u>-</u>	<u>55,340,034</u>
Total capital assets, net	<u>\$ 53,338,803</u>	<u>\$ 2,341,931</u>	<u>\$ -</u>	<u>\$ 55,680,734</u>

6. Line of Credit

The Authority has a \$5,000,000 unsecured line of credit with a bank of which \$0 was outstanding at June 30, 2025 and 2024. Interest is accrued on the outstanding balance at SOFR plus 2.50% (6.98% and 7.99% at June 30, 2025 and 2024, respectively).

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

7. Unearned Revenue

In July 2007, the Pennsylvania legislature enacted Act 44, which provides a dedicated source of funding for public transportation. Funding under Act 44 is to be used for operating purposes and requires certain levels of local government support. Funds not expended in the year of receipt can be carried forward for future operating expenses. Act 44 was amended by Act 89 of 2013.

At June 30, 2025 and 2024, unearned revenues consisted of the following:

	2025	2024
Act 44/89 - operating	\$ 29,610,687	\$ 27,040,220
Local match funds - operating	88,199	2,863
Local match funds - capital	573,024	508,861
Other unearned revenue - capital	959,134	895,353
Vanpool	344,489	344,489
Passes	28,351	33,211
Total	\$ 31,603,884	\$ 28,824,997

8. Defined Contribution Plans

The Authority provides pension benefits for its employees through a defined contribution money purchase plan. In a defined contribution plan, benefits depend solely on amounts contributed to the plan plus investment earnings. Employees who have 12 months of entry service are eligible to participate. The Authority contributes an amount equal to 8% of each covered employee's annual compensation. Employees who are active members are required to make contributions equal to 4% of covered compensation. The Authority's contributions for each employee (and interest allocated to the employee's account) are partially vested between three and six years of service and become fully vested after seven years of service. Authority contributions for and interest forfeited by employees are used to reduce the Authority's current period contribution requirement. The Authority's contributions of \$646,943 and \$601,626 were charged to operations for the years ended June 30, 2025 and 2024, respectively. Employee contributions for the years ended June 30, 2025 and 2024 were \$428,179 and \$305,968, respectively.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

Deferred Compensation Plan

Employees of the Authority may participate in a deferred compensation plan (plan) adopted under the provisions of Internal Revenue Code Section 457 (deferred compensation plans with respect to service for state and local governments), which is considered a defined contribution pension plan. As part of its fiduciary role, the Authority has an obligation of due care in selecting the third-party administrator. The plan is available to all employees of the Authority. Under the plan, employees may elect to defer a portion of their salaries and avoid paying taxes on the deferred portion until the withdrawal date. During 2025 and 2024, the employee contributions were \$127,343 and \$64,031, respectively.

9. Risk Management

The Authority is exposed to various risks of loss related to torts; theft of, damage to, and destruction of assets; errors and omissions; injuries to employees; and natural disasters.

The Authority has joined together with other transit organizations in the Commonwealth of Pennsylvania to form the State Association for Transportation Insurance (SAFTI) Property & Liability Pool and the SAFTI Workers' Compensation Pool, public entity risk pools currently operating as common risk management and insurance programs. The Authority pays annual premiums to the SAFTI Property & Liability Pool for its property; general liability; automobile liability; automobile physical damage; crime, boiler, and machinery; and public officials' errors and omissions insurance coverage. It also pays annual premiums to the SAFTI Workers' Compensation Pool for its workers' compensation insurance coverage. The agreement for formation of the Pools provides that the SAFTI Property & Liability Pool and SAFTI Workers' Compensation Pool will be self-sustaining through member premiums and will reinsure through commercial companies for claims in excess of certain amounts specified for each type of coverage. In the event annual premiums are not sufficient to fund operations or obligations of the Pools, additional supplementary premiums may be assessed to members on a pro rata basis. Premiums paid to the SAFTI Property & Liability Pool and charged to operations during the years ended June 30, 2025 and 2024 amounted to \$365,608 and \$381,293, respectively. Premiums paid to the SAFTI Workers' Compensation Pool and charged to operations during the years ended June 30, 2025 and 2024 amounted to \$144,192 and \$182,958, respectively, which was net of premium refunds in the amounts of \$89,952 and \$101,652, respectively.

The Authority carries commercial insurance for other risks of loss, including employee health and accident insurance.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2025 AND 2024

For the years ended June 30, 2025, 2024 and 2023, there has been no significant reduction in insurance coverage from coverage in the prior years. Settled claims have not exceeded the insurance coverage purchased for the years ended June 30, 2025, 2024 and 2023.

10. Commitments and Contingencies

A significant portion of the Authority's support is received from federal, state, and local governments in the form of operating and capital grant assistance. A significant reduction in the level of this support would have a material effect on the Authority's operations. In addition, the disbursement of funds received under such programs generally requires compliance with terms and conditions specified in the contract agreements and are subject to audit by grantor agencies. Any disallowed costs resulting from such audits could become a liability of the Authority. The amount, if any, of expenditures that may be disallowed by the granting agencies cannot be determined at this time. The Authority's management expects such amounts, if any, to be immaterial.

In the normal course of business, the Authority is involved in various legal proceedings. In the opinion of management, any liability resulting from such proceedings would not have a material adverse effect on the financial statements.

SUPPLEMENTARY INFORMATION

CENTRE AREA TRANSPORTATION AUTHORITY
STATEMENT OF REVENUES, EXPENSES, AND CHANGES IN NET POSITION - BY PROGRAM

YEAR ENDED JUNE 30, 2025

	Non-Fixed Route				Total
	Fixed Route	Demand Response	Vanpool	Capital	
Operating Revenues:					
Passenger fares	\$ 4,175,121	\$ 145,794	\$ -	\$ -	\$ 4,320,915
Organization-paid fares	2,560,684	-	-	-	2,560,684
State Shared Ride Program	-	147,661	-	-	147,661
Advertising	172,547	-	-	-	172,547
Miscellaneous income	13,774	-	-	-	13,774
Total operating revenues	6,922,126	293,455	-	-	7,215,581
Operating Expenses:					
Salaries and wages	10,174,288	591,420	25,007	-	10,790,715
Fringe benefits	4,042,138	257,458	19,091	-	4,318,687
Services	1,559,749	98,349	13,595	-	1,671,693
Fuel and lubricants	478,124	182,825	82	-	661,031
Tires and tubes	70,707	10,442	-	-	81,149
Other material and supplies	686,476	95,524	2,564	-	784,564
Utilities	353,563	42,085	3,778	-	399,426
Casualty and liability	390,832	4,624	673	-	396,129
Purchased transportation	-	2,111,617	49,189	-	2,160,806
Miscellaneous expense	262,363	32,927	1,274	-	296,564
Depreciation	4,477,029	-	-	-	4,477,029
Total operating expenses	22,495,269	3,427,271	115,253	-	26,037,793
Operating Income (Loss)	(15,573,143)	(3,133,816)	(115,253)	-	(18,822,212)
Non-operating Revenues (Expenses):					
Government subsidies:					
Federal government	3,138,496	955,709	33,986	-	4,128,191
Commonwealth of Pennsylvania Act 44 funds	6,241,236	2,142,270	78,900	-	8,462,406
Local governments Act 44 matching funds	775,101	35,837	2,367	-	813,305
Total government subsidies for operations	10,154,833	3,133,816	115,253	-	13,403,902
Interest income	941,281	-	-	-	941,281
Total non-operating revenues (expenses)	11,096,114	3,133,816	115,253	-	14,345,183
Income (loss) before capital grant funding	(4,477,029)	-	-	-	(4,477,029)
Capital grant funding:					
Federal	-	-	-	-	-
State	-	-	-	1,326,609	1,326,609
Local	-	-	-	44,267	44,267
Total capital grant funding	-	-	-	1,370,876	1,370,876
Change in Net Position	\$ (4,477,029)	\$ -	\$ -	\$ 1,370,876	\$ (3,106,153)

Expenses (FY 24-25)

Service Mode: Bus (MB)

	<u>Vehicle Operation</u>	<u>Vehicle Maintenance</u>	<u>Facility Maintenance</u>	<u>General Admin</u>	<u>Totals</u>
Operating Expenses					
Operators' Salaries and Wages (5011)	\$ 4,795,784	\$ -	\$ -	\$ -	\$ 4,795,784
Operators' Paid Absences (5012)	786,302	-	-	-	786,302
Other Salaries and Wages (5013)	607,581	1,436,936	353,527	1,338,220	3,736,264
Other Paid Absences (5014)	111,356	333,971	55,589	355,022	855,938
Fringe Benefits (5015)	2,834,869	547,778	140,792	518,699	4,042,138
Services (5020)	14,511	62,119	26,503	1,456,616	1,559,749
Fuel and Lubricants (5031)	452,899	25,225	-	-	478,124
Tires and Tubes (5032)	69,019	1,688	-	-	70,707
Other Materials and Supplies (5039)	1,203	395,557	171,929	117,787	686,476
Utilities (5040)	-	-	-	353,563	353,563
Casualty and Liability Costs (5050)	-	-	-	390,832	390,832
Taxes (5060)	-	-	-	-	-
Purchased Transportation Expenses (5100)	-	-	-	-	-
Miscellaneous Expenses (5090)	50,528	26,706	-	185,129	262,363
Total System Expenses	<u>\$ 9,724,052</u>	<u>\$ 2,829,980</u>	<u>\$ 748,340</u>	<u>\$ 4,715,868</u>	<u>\$ 18,018,240</u>

Expenses (FY 24-25)

Service Mode: Demand Response (DR)

	<u>Vehicle Operation</u>	<u>Vehicle Maintenance</u>	<u>Facility Maintenance</u>	<u>General Admin</u>	<u>Totals</u>
Operating Expenses					
Operators' Salaries and Wages (5011)	\$ -	\$ -	\$ -	\$ -	\$ -
Operators' Paid Absences (5012)	-	-	-	-	-
Other Salaries and Wages (5013)	298,769	49,363	10,442	132,851	491,425
Other Paid Absences (5014)	54,086	21,048	3,131	21,730	99,995
Fringe Benefits (5015)	153,213	55,522	8,540	40,183	257,458
Services (5020)	-	-	-	98,349	98,349
Fuel and Lubricants (5031)	182,825	-	-	-	182,825
Tires and Tubes (5032)	10,442	-	-	-	10,442
Other Materials and Supplies (5039)	-	38,946	-	56,578	95,524
Utilities (5040)	-	-	-	42,085	42,085
Casualty and Liability Costs (5050)	-	-	-	4,624	4,624
Taxes (5060)	-	-	-	-	-
Purchased Transportation Expenses (5100)	2,111,617	-	-	-	2,111,617
Miscellaneous Expenses (5090)	12,513	7,523	-	12,891	32,927
Total System Expenses	\$ 2,823,465	\$ 172,402	\$ 22,113	\$ 409,291	\$ 3,427,271
Demand Response Service Type					
Service Types	Amount				
ADA Expenses (5910.00)	\$ 1,283,489				
General Public Expenses (5919.01)	527,713				
Microtransit Expenses (5919.02)	1,622,884				
Total	\$ 3,434,086				

Expenses (FY 24-25)

Service Mode: Vanpool (VP)

	Vehicle Operation	Vehicle Maintenance	Facility Maintenance	General Admin	Totals
Operating Expenses					
Operators' Salaries and Wages (5011)	\$ -	\$ -	\$ -	\$ -	\$ -
Operators' Paid Absences (5012)	-	-	-	-	-
Other Salaries and Wages (5013)	3,696	3,289	5,176	10,644	22,805
Other Paid Absences (5014)	-	-	-	2,202	2,202
Fringe Benefits (5015)	1,357	10,776	2,597	4,361	19,091
Services (5020)	-	613	21	12,961	13,595
Fuel and Lubricants (5031)	-	82	-	-	82
Tires and Tubes (5032)	-	-	-	-	-
Other Materials and Supplies (5039)	-	2,238	55	271	2,564
Utilities (5040)	-	-	-	3,778	3,778
Casualty and Liability Costs (5050)	-	-	-	673	673
Taxes (5060)	-	-	-	-	-
Purchased Transportation Expenses (5100)	49,189	-	-	-	49,189
Miscellaneous Expenses (5090)	-	315	11	948	1,274
Total System Expenses	\$ 54,242	\$ 17,313	\$ 7,860	\$ 35,838	\$ 115,253

Reconciling Items (FY 24-25)

	<u>Amount</u>
Interest Expenses (5210)	\$ -
Operating Lease Expenses (5220)	-
Capital Leases (5230)	-
Related Parties Lease Agreements (5240)	-
Voluntary Non-Exchange Transactions (5250)	-
Depreciation (5260)	
Depreciation of Publicly-Funded Assets (5260.01)	<u>4,477,029</u>
Total Depreciation (5260)	<u>4,477,029</u>
Amortization of Intangibles (5270)	-
Extraordinary and Special Items (5280)	-
Other Reconciling Items (5290)	
Medical Assistance Transportation Program Expenses (5290.03)	-
Other Non-Public Transportation Service Expenses (5290.98)	<u>-</u>
Total Other Reconciling Items (5290)	<u>-</u>
Total	<u>\$ 4,477,029</u>
Demand Response Service Type	
ADA Related Reconciling Items (5920.00)	<u>\$ 1,079,090</u>

Expense Summary (FY 24-25)

	<u>Vehicle Operation</u>	<u>Vehicle Maintenance</u>	<u>Facility Maintenance</u>	<u>General Admin</u>	<u>Totals</u>
Operating Expenses					
Operators' Salaries and Wages (5011)	\$ 4,795,784	\$ -	\$ -	\$ -	\$ 4,795,784
Operators' Paid Absences (5012)	786,302	-	-	-	786,302
Other Salaries and Wages (5013)	910,046	1,489,588	369,145	1,481,715	4,250,494
Other Paid Absences (5014)	165,442	355,019	58,720	378,954	958,135
Fringe Benefits (5015)	2,989,439	614,076	151,929	563,243	4,318,687
Services (5020)	14,511	62,732	26,524	1,567,926	1,671,693
Fuel and Lubricants (5031)	635,724	25,307	-	-	661,031
Tires and Tubes (5032)	79,461	1,688	-	-	81,149
Other Materials and Supplies (5039)	1,203	436,741	171,984	174,636	784,564
Utilities (5040)	-	-	-	399,426	399,426
Casualty and Liability Costs (5050)	-	-	-	396,129	396,129
Taxes (5060)	-	-	-	-	-
Purchased Transportation Expenses (5100)	2,160,806	-	-	-	2,160,806
Miscellaneous Expenses (5090)	63,041	34,544	11	198,968	296,564
Applied					-
Non Applied					4,477,029
Total System Expenses	\$ 12,601,759	\$ 3,019,695	\$ 778,313	\$ 5,160,997	\$ 26,037,793

Revenues (FY 24-25)

Service Mode: Bus (MB)

	<u>Bus (MB) Directly Operated</u>	<u>Total</u>
Passenger Fares (4110)		
Passenger-Paid Fares (4111)		
Full Passenger Fare Payment (4111.99)	\$ 4,175,121	\$ 4,175,121
Total Passenger-Paid Fares (4111)	<u>4,175,121</u>	<u>4,175,121</u>
Organization-Paid Fares (4112)		
Other Funding Sources (4112.99)	<u>2,560,684</u>	<u>2,560,684</u>
Total Organization-Paid Fares (4112)	<u>2,560,684</u>	<u>2,560,684</u>
Totals Passenger Fares (4110)	<u><u>\$ 6,735,805</u></u>	<u><u>\$ 6,735,805</u></u>

Revenues (FY 24-25)

Service Mode: Demand Response (DR)

	Demand Response (DR) Directly Operated	Total
	<u>Operated</u>	<u>Total</u>
Passenger Fares (4110)		
Passenger-Paid Fares (4111)		
Senior Shared Ride Program Copayments (4111.01)	\$ 21,640	\$ 21,640
Persons with Disabilities Program Copayments (4111.02)	-	-
ADA Complementary Paratransit Fares (4111.03)	62,834	62,834
All Other Program Copayments (4111.04)	-	-
Full Passenger Fare Payment (4111.99)	61,320	61,320
	<u>61,320</u>	<u>61,320</u>
Total Passenger-Paid Fares (4111)	<u>145,794</u>	<u>145,794</u>
Organization-Paid Fares (4112)		
Senior Shared Ride Program Funding (4112.01)	147,661	147,661
Persons with Disabilities Program Funding (4112.02)	-	-
Senior Shared Ride Program Sponsors (4112.07)	-	-
Medical Assistance Transportation Program Funding (4112.08)	-	-
Medical Assistance Transportation Program Senior Shared Ride Program Sponsorship (4112.09)	-	-
Other Funding Sources (4112.99)	-	-
	<u>-</u>	<u>-</u>
Total Organization-Paid Fares (4112)	<u>147,661</u>	<u>147,661</u>
Totals Passenger Fares (4110)	<u>\$ 293,455</u>	<u>\$ 293,455</u>

Other Revenues (FY 24-25)**Other Forms of Revenue**

Park-and-Ride Parking Revenue (4120)	\$ -
Non-Public Transportation Revenues (4130)	
Medical Assistance Transportation Program Funding (4130.03)	-
Other Non-Public Transportation Service Revenues (4130.99)	-
	<hr/>
Total Non-Public Transportation Revenues (4130)	<hr/> -
Advertising Revenues (4141)	172,547
Concessions (4142)	-
Other Auxiliary Transportation Revenues (4149)	-
Other Agency Revenues (4150)	955,055
Revenues Accrued through a Purchased Transportation Agreement (4160)	-
Subsidy from Other Sectors of Operations (4170)	-
Extraordinary and Special Items (4180)	-
Total Recoveries (4190)	-
Contributed Services (4610)	-
Voluntary Non-Exchange Transactions (4620)	-
Sales and Disposals of Assets (4630)	
Sales and Disposals of Publicly-Funded Assets (4630.01)	-
	<hr/>
Total Sales and Disposals of Assets (4630)	<hr/> -
Transportation Development Credits (4640)	-
	<hr/>
Total Other Funds	<hr/> <u>\$ 1,127,602</u>

Revenue Summary (FY 24-25)**Passenger Fares (4110)****Passenger-Paid Fares (4111)**

Senior Shared Ride Program Copayments (4111.01)	\$ 21,640
Persons with Disabilities Program Copayments (4111.02)	-
ADA Complementary Paratransit Fares (4111.03)	62,834
All Other Program Copayments (4111.04)	-
Full Passenger Fare Payment (4111.99)	<u>4,236,441</u>

Total Passenger-Paid Fares (4111)	<u>4,320,915</u>
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Organization-Paid Fares (4112)

Senior Shared Ride Program Funding (4112.01)	147,661
Persons with Disabilities Program Funding (4112.02)	-
Senior Shared Ride Program Sponsors (4112.07)	-
Medical Assistance Transportation Program Funding (4112.08)	-
Medical Assistance Transportation Program Senior Shared Ride Program Sponsorship (4112.09)	-
Other Funding Sources (4112.99)	<u>2,560,684</u>

Total Organization-Paid Fares (4112)	<u>2,708,345</u>
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Other Forms of Revenue	<u>1,127,602</u>
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Total	<u><u>\$ 8,156,862</u></u>
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Operations Subsidies (FY 24-25)**Service Mode: Bus (MB)****Federal Subsidy**

Section 5307 - FTA Urbanized Area Formula Program Funds (4500.02)	\$ 3,138,496
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Total Federal Subsidy	3,138,496
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State Subsidy

Section 1513 Funding (4420.01)	6,241,236
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Total State Subsidy	6,241,236
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Local Subsidy

Section 1513 Funding Local Match (4310.01)	775,101
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Total Local Subsidy	775,101
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Grand Total Subsidies	\$ 10,154,833
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Service Mode: Demand Response (DR)**Federal Subsidy**

Section 5307 - FTA Urbanized Area Program Funds (4500.02)	\$ 955,709
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Total Federal Subsidy	955,709
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State Subsidy

Section 1513 Funding (4420.01)	2,142,270
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Total State Subsidy	2,142,270
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Local Subsidy

Section 1513 Funding Local Match (4310.01)	35,837
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Total Local Subsidy	35,837
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Grand Total Subsidies	\$ 3,133,816
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Service Mode: Vanpool**Federal Subsidy**

Section 5307 - FTA Urbanized Area Program Funds (4500.02)	\$ 33,986
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Total Federal Subsidy	33,986
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State Subsidy

Section 1513 Funding (4420.01)	78,900
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Total State Subsidy	78,900
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Local Subsidy

Section 1513 Funding Local Match (4310.01)	2,367
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Total Local Subsidy	2,367
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Grand Total Subsidies	\$ 115,253
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Capital Subsidies (FY 24-25)**Service Mode: Bus (MB)**

Federal Subsidy	\$ -
Total Federal Subsidy	<u>-</u>
State Subsidy	
Section 1514 Funding (4420.02)	1,319,245
Other State Transportation Funds (4420.99)	<u>-</u>
Total State Subsidy	<u>1,319,245</u>
Local Subsidy	
Section 1514 Funding Local Match (4310.02)	44,267
Other Local Government Funds (4310.99)	<u>-</u>
Total Local Subsidy	<u>44,267</u>
Grand Total Subsidies	<u><u>\$ 1,363,512</u></u>

Service Mode: Demand Response (DR)

Federal Subsidy	\$ -
Total Federal Subsidy	<u>-</u>
State Subsidy	
Section 1514 Funding (4420.02)	-
Section 1516 Funding (4420.03)	<u>7,364</u>
Total State Subsidy	<u>7,364</u>
Local Subsidy	
Section 1514 Funding Local Match (4310.02)	-
Other Local Government Funds (4310.99)	<u>-</u>
Total Local Subsidy	<u>-</u>
Grand Total Subsidies	<u><u>\$ 7,364</u></u>

Local Match Provided (FY 24-25)**Contributor: Bellefonte Borough**

Date of Final Payment: 4/23/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 30,370
7,592**Totals**\$ 37,962**Contributor: Benner Township**

Date of Final Payment: 4/11/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 6,188
839**Totals**\$ 7,027**Contributor: State College Borough**

Date of Final Payment: 4/14/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 302,290
34,018**Totals**\$ 336,308**Contributor: College Township**

Date of Final Payment: 4/24/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 72,952
8,316**Totals**\$ 81,268**Contributor: Ferguson Township**

Date of Final Payment: 4/14/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 140,302
15,876**Totals**\$ 156,178**Contributor: Harris Township**

Date of Final Payment: 4/14/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 42,478
4,536**Totals**\$ 47,014**Contributor: Patton Township**

Date of Final Payment: 4/23/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 113,656
12,852**Totals**\$ 126,508**Contributor: The Pennsylvania State University**

Date of Final Payment: 6/03/2025

Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 190,405
24,401**Totals**\$ 214,806**Contributor: All Contributors Total**Section 1513 Funding Local Match (4310.01)
(4420.01)\$ 898,641
108,430**Totals**\$ 1,007,071

Carryover (FY 24-25)**Funds Available at Fiscal Year Start**

Section 1513 Funding Local Match (4310.01)	\$ 511,724
Section 1513 Funding (4420.01)	<u>27,040,220</u>

Adjustments to Funds Available

Section 1513 Funding Local Match (4310.01)	-
Section 1513 Funding (4420.01)	<u>-</u>

Funds Received During Fiscal Year

Section 1513 Funding Local Match (4310.01)	1,007,071
Section 1513 Funding (4420.01)	<u>11,025,660</u>

Funds Expended During Fiscal Year:**Operations**

Section 1513 Funding Local Match (4310.01)	813,305
Section 1513 Funding (4420.01)	<u>8,462,406</u>

Capital

Section 1513 Funding Local Match (4310.01)	44,267
Section 1513 Funding (4420.01)	<u>-</u>

Interest Earned on Funds as of Fiscal Year End

Section 1513 Funding Local Match (4310.01)	-
Section 1513 Funding (4420.01)	<u>7,213</u>

Funds Available at Fiscal Year End

Section 1513 Funding Local Match (4310.01)	661,223
Section 1513 Funding (4420.01)	<u><u>\$ 29,610,687</u></u>

Reserve % of Public Transportation Operating Expenses

Section 1513 Funding Local Match (4310.01)	3%
Section 1513 Funding (4420.01)	114%

CENTRE AREA TRANSPORTATION AUTHORITY

SCHEDULE OF EXPENDITURES OF FEDERAL AWARDS

YEAR ENDED JUNE 30, 2025

Federal Grantor / Pass-Through Grantor / Program or Cluster Title	Federal Assistance Listing Number (ALN)	Pass-Through Grantor's Number	Federal Expenditures	Passed Through to Subrecipients
U.S. Department of Transportation, Federal Transit Administration:				
Federal Transit Cluster:				
Federal Transit Formula Grants (Urbanized Area Formula Program)	20.507	PA-2023-049-00	\$ 2,632,739	\$ -
Federal Transit Formula Grants (Urbanized Area Formula Program)	20.507	PA-2023-059-00	1,290,452	-
Federal Transit Formula Grants (Urbanized Area Formula Program)	20.507	PA-2024-016-01-00	205,000	-
Total Federal Transit Cluster and total ALN 20.507			4,128,191	-
Total Expenditures of Federal Awards			\$ 4,128,191	\$ -

See accompanying notes to schedule of expenditures of federal awards.

CENTRE AREA TRANSPORTATION AUTHORITY

NOTES TO SCHEDULE OF EXPENDITURES OF FEDERAL AWARDS

YEAR ENDED JUNE 30, 2025

1. Basis of Presentation

The accompanying schedule of expenditures of federal awards (Schedule) includes the federal award activity of the Centre Area Transportation Authority (Authority) under programs of the federal government for the year ended June 30, 2025. The information in this Schedule is presented in accordance with the requirements of Title 2 U.S. *Code of Federal Regulations* Part 200, *Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards* (Uniform Guidance). Because the Schedule presents only a selected portion of the operations of the Authority, it is not intended to and does not present the financial position, changes in net position, or cash flows of the Authority.

2. Summary of Significant Accounting Policies

Expenditures reported on the Schedule are reported on the accrual basis of accounting. Such expenditures are recognized following the cost principles contained in the Uniform Guidance, wherein certain types of expenditures are not allowable or are limited as to reimbursement. The Authority has elected to not use the 10 percent de minimis indirect cost rate as allowed under the Uniform Guidance.

Centre Area Transportation Authority

Independent Auditor's Reports
Required by the Uniform Guidance

Year Ended June 30, 2025

Independent Auditor’s Report on Internal Control over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with Government Auditing Standards

**Board of Directors
Centre Area Transportation Authority**

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of Centre Area Transportation Authority (Authority), as of and for the year ended June 30, 2025, and the related notes to the financial statements, which collectively comprise the Authority’s basic financial statements, and have issued our report thereon dated January 26, 2026.

Report on Internal Control over Financial Reporting

In planning and performing our audit of the financial statements, we considered the Authority’s internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinion on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Authority’s internal control. Accordingly, we do not express an opinion on the effectiveness of the Authority’s internal control.

A deficiency in internal control exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity’s financial statements will not be prevented, or detected and corrected on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies and therefore, material weaknesses or significant deficiencies may exist that were not identified. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. We identified certain deficiencies in internal control, described in the accompanying schedule of

Board of Directors
Centre Area Transportation Authority
Independent Auditor's Report on Internal Control over Financial Reporting
and on Compliance and Other Matters

findings and questioned costs as items 2025-001 and 2025-002 that we consider to be significant deficiencies.

Report on Compliance and Other Matters

As part of obtaining reasonable assurance about whether the Authority's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the financial statements. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

The Authority's Response to Findings

Government Auditing Standards requires the auditor to perform limited procedures on the Authority's response to the findings identified in our audit and described in the accompanying schedule of findings and questioned costs. The Authority's response was not subjected to the other auditing procedures applied in the audit of the financial statements and, accordingly, we express no opinion on the response.

Purpose of this Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the entity's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the entity's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

Mahe Duessel

Pittsburgh, Pennsylvania
January 26, 2026

**Independent Auditor’s Report on Compliance for Each Major Program and on
Internal Control over Compliance Required by the Uniform Guidance**

**Board of Directors
Centre Area Transportation Authority**

Report on Compliance for Each Major Federal Program

Opinion on Each Major Federal Program

We have audited the Centre Area Transportation Authority’s (Authority) compliance with the types of compliance requirements identified as subject to audit in the OMB Compliance Supplement that could have a direct and material effect on each of the Authority’s major federal programs for the year ended June 30, 2025. The Authority’s major federal programs are identified in the summary of auditor’s results section of the accompanying schedule of findings and questioned costs.

In our opinion, the Authority complied, in all material respects, with the types of compliance requirements referred to above that could have a direct and material effect on each of its major federal programs for the year ended June 30, 2025.

Basis for Opinion on Each Major Federal Program

We conducted our audit of compliance in accordance with auditing standards generally accepted in the United States of America; the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States; and the audit requirements of Title 2 U.S. *Code of Federal Regulations* Part 200, *Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards* (Uniform Guidance). Our responsibilities under those standards and the Uniform Guidance are further described in the Auditor’s Responsibilities for the Audit of Compliance section of our report.

We are required to be independent of the Authority and to meet our other ethical responsibilities in accordance with relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion on compliance for each major federal program. Our audit does not provide a legal determination of the Authority’s compliance with the compliance requirements referred to above.

Responsibilities of Management for Compliance

Management is responsible for compliance with the requirements referred to above and for the design, implementation, and maintenance of effective internal control over compliance with the requirements of laws, statutes, regulations, rules, and provisions of contracts or grant agreements applicable to the Authority's federal programs.

Auditor's Responsibilities for the Audit of Compliance

Our objectives are to obtain reasonable assurance about whether material noncompliance with the compliance requirements referred to above occurred, whether due to fraud or error, and express an opinion on the Authority's compliance based on our audit. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards, *Government Auditing Standards*, and the Uniform Guidance will always detect material noncompliance when it exists. The risk of not detecting material noncompliance resulting from fraud is higher than for that resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Noncompliance with the compliance requirements referred to above is considered material if there is a substantial likelihood that, individually or in the aggregate, it would influence the judgment made by a reasonable user of the report on compliance about the Authority's compliance with the requirements of each major federal program as a whole.

In performing an audit in accordance with generally accepted auditing standards, *Government Auditing Standards*, and the Uniform Guidance, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material noncompliance, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the Authority's compliance with the compliance requirements referred to above and performing such other procedures as we considered necessary in the circumstances.
- Obtain an understanding of the Authority's internal control over compliance relevant to the audit in order to design audit procedures that are appropriate in the circumstances and to test and report on internal control over compliance in accordance with the Uniform Guidance, but not for the purpose of expressing an opinion on the effectiveness of the Authority's internal control over compliance. Accordingly, no such opinion is expressed.

Board of Directors
Centre Area Transportation Authority
Independent Auditor's Report on Compliance for Each Major
Program and on Internal Control over Compliance

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and any significant deficiencies and material weaknesses in internal control over compliance that we identified during the audit.

Report on Internal Control over Compliance

A deficiency in internal control over compliance exists when the design or operation of a control over compliance does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, noncompliance with a type of compliance requirement of a federal program on a timely basis. *A material weakness in internal control over compliance* is a deficiency, or a combination of deficiencies, in internal control over compliance, such that there is a reasonable possibility that material noncompliance with a type of compliance requirement of a federal program will not be prevented, or detected and corrected, on a timely basis. A significant deficiency in internal control over compliance is a deficiency, or a combination of deficiencies, in internal control over compliance with a type of compliance requirement of a federal program that is less severe than a material weakness in internal control over compliance, yet important enough to merit attention by those charged with governance.

Our consideration of internal control over compliance was for the limited purpose described in the Auditor's Responsibilities for the Audit of Compliance section above and was not designed to identify all deficiencies in internal control over compliance that might be material weaknesses or significant deficiencies in internal control over compliance. Given these limitations, during our audit we did not identify any deficiencies in internal control over compliance that we consider to be material weaknesses, as defined above. However, material weaknesses or significant deficiencies in internal control over compliance may exist that were not identified.

Our audit was not designed for the purpose of expressing an opinion on the effectiveness of internal control over compliance. Accordingly, no such opinion is expressed.

The purpose of this report on internal control over compliance is solely to describe the scope of our testing of internal control over compliance and the results of that testing based on the requirements of the Uniform Guidance. Accordingly, this report is not suitable for any other purpose.

Maher Duessel

Pittsburgh, Pennsylvania
January 26, 2026

CENTRE AREA TRANSPORTATION AUTHORITY

SCHEDULE OF FINDINGS AND QUESTIONED COSTS

YEAR ENDED JUNE 30, 2025

I. Summary of Audit Results

1. Type of auditor's report issued: Unmodified, prepared in accordance with Generally Accepted Accounting Principles

2. Internal control over financial reporting:

Material weakness(es) identified? yes no

Significant deficiencies identified that are not considered to be material weakness(es)?

yes none reported

3. Noncompliance material to financial statements noted? yes no

4. Internal control over major programs:

Material weakness(es) identified? yes no

Significant deficiencies identified that are not considered to be material weakness(es)?

yes none reported

5. Type of auditor's report issued on compliance for major programs: Unmodified

6. Any audit findings disclosed that are required to be reported in accordance with 2 CFR Section 200.516(a)? yes no

7. Major Programs:

Federal ALN(s)

20.507

Name of Federal Program or Cluster

Federal Transit Cluster (Urbanized Area Formula Program)

8. Dollar threshold used to distinguish between type A and type B programs: \$750,000

9. Auditee qualified as low risk auditee? yes no

II. Findings related to the financial statements which are required to be reported in accordance with GAGAS.

CENTRE AREA TRANSPORTATION AUTHORITY

SCHEDULE OF FINDINGS AND QUESTIONED COSTS

YEAR ENDED JUNE 30, 2025

Finding 2025-001 – Internal Controls over Bank Reconciliations

Condition: Centre Area Transportation Authority (Authority) did not follow procedures to ensure bank reconciliations were completed and reviewed on an ongoing and timely basis during the year and for year-end closing. Once provided, there was no documented approval of the reconciliation by someone independent of the receipts and disbursement process.

Criteria: Timely and accurate bank reconciliations are an important internal control that can detect unauthorized or erroneous transactions. This requires account activity to be recorded on an ongoing basis as well as the timely reconciliation of cash and an independent review and approval of the reconciliation.

Cause: The Authority did not follow their policies and procedures as a result of staff turnover.

Effect: The lack of timely preparation and independent review of bank reconciliations increases the risk that errors or irregularities in cash activity, including unauthorized disbursements or misposted receipts, may not be detected and corrected on a timely basis, which could result in misstatements of cash and related accounts and may adversely affect financial decisions made by management and those charged with governance.

Recommendation: We recommend in order to ensure that bank activity is appropriate and recorded correctly, the Authority should be completing bank reconciliations each month and the reconciled book balance should be compared to the general ledger and any differences should be resolved immediately. In addition, the Authority should ensure reconciliations are reviewed by an independent individual, and that this review be documented.

Views of Responsible Official and Planned Corrective Action: Management agrees with the finding. See separate Corrective Action Plan.

Finding 2025-002 – Internal Controls over Capital Assets

Condition: The Authority did not follow procedures to ensure capital asset supporting schedule reconciliations were completed and reviewed on an ongoing basis during the year and for year-end closing. As a result, additions and deletions recorded on the general ledger were not properly reflected on the supporting detail.

CENTRE AREA TRANSPORTATION AUTHORITY

SCHEDULE OF FINDINGS AND QUESTIONED COSTS

YEAR ENDED JUNE 30, 2025

Criteria: A strong internal control structure over capital assets is important in order to ensure capital asset additions, deletions, and transfers are accurately recorded in both the general ledger and the supporting capital asset schedules. The supporting schedules should be reconciled regularly to the general ledger to ensure completeness, accuracy, and agreement of balances, and capital assets should be depreciated in a systematic and rational manner over their estimated useful lives, based on cost and placed in service dates, as reflected in the supporting schedules.

Cause: The Authority did not follow their policies and procedures to reconcile the capital asset supporting schedules to the general ledger capital asset accounts.

Effect: As the capital asset supporting schedules are not accurately and timely updated to agree to the general ledger, certain capital asset items are overstated or understated, and disposals may remain on the books after assets are removed from service. Additionally, depreciation expense and accumulated depreciation may be misstated, as items were depreciated incorrectly, not depreciated at all, or continue to be depreciated after disposal.

Recommendation: We recommend the Authority follow their documented policies and procedures to ensure that all capital asset additions, deletions, and transfers are recorded timely in both the general ledger and capital asset supporting schedules. Additionally, the Authority should perform periodic reconciliations between the general ledger capital asset accounts and the capital asset supporting schedules, with any differences being resolved immediately, and the reconciliation contain evidence of review and approval by an appropriate level of management.

Views of Responsible Official and Planned Corrective Action: Management agrees with the finding. See separate Corrective Action Plan.

III. Findings and questioned costs for federal awards

No matters were reported.

CENTRE AREA TRANSPORTATION AUTHORITY

SUMMARY SCHEDULE OF PRIOR AUDIT FINDINGS

YEAR ENDED JUNE 30, 2025

NONE



Date: December 17, 2025

Subject: Corrective Action Plan – Schedule of Findings

Finding 2025 – 001 – Internal Control over Bank Reconciliations

Condition: Centre Area Transportation Authority (Authority) did not follow procedures to ensure bank reconciliations were completed and reviewed on an ongoing and timely basis during the year and for the year-end closing. Once provided, there was no documented approval of the reconciliation by someone independent of the receipts and disbursements process.

Corrective Action – Monthly bank reconciliations have now been assigned to the department's Staff Accountant. Reconciliations will be completed by the 10th workday following the receipt of the end-of-the-month bank statements. The reconciliations will be reviewed by the Accounting Supervisor, and this review will be documented within the reconciliation files.

Finding 2025 – 002 – Internal Controls over Capital Assets

Condition: The Authority did not follow procedures to ensure capital asset supporting schedule reconciliations were completed and reviewed on an ongoing basis during the year and for year-end closing. As a result, additions and deletions recorded on the general ledger were not properly reflected on the supporting detail.

Corrective Action – The accounting department is currently conducting a 100% review of all capital assets and comparing them to the corresponding general ledger account. The fixed asset module and the general ledger will be reviewed to ensure they are in balance. Moving forward, this review will be conducted on an ongoing basis to ensure all additions and deletions are properly recorded. The fixed asset listing will be compared annually to the physical fixed asset inventory to ensure accuracy.

Bruce Donovan

Bruce Donovan

Director of Finance/Board Treasurer

Excerpt from article appearing in 2/24/2026 edition of PML's *Municipal Reporter*

Data Centers and Gas-Fired Power Plants: A Dangerous Combination SUBMITTED BY BRIGITTE MEYER AND DONNA KOHUT, PENN FUTURE

Why Municipalities Must Plan for Data Center Development

It is understandable that, upon hearing about the potential impacts of data centers, municipalities may be interested in banning or “zoning out” these uses. However, Pennsylvania municipalities cannot do this.

The authority to enact zoning rules does not extend to “arbitrary, unnecessary, or unreasonable intermeddling with the private ownership of property,” and while it is fundamentally reasonable for a zoning ordinance to allocate different types of activities to different locations in the community, the Pennsylvania Supreme Court has held that zoning ordinances that totally prohibit a legitimate use from an entire community are almost always unconstitutionally unreasonable. Thus, with very few exceptions, every municipality in Pennsylvania must provide for the possibility of every legitimate land use somewhere within its borders and cannot impose restrictions that make any use effectively impossible to build.

A landowner or developer may bring a legal challenge against an exclusionary ordinance (called a substantive validity challenge), and if that challenge is successful, the ordinance will be declared invalid and struck down. More importantly, the successful challenger is generally entitled to build the “excluded” use at their chosen location, regardless of how that property is zoned. This means that, if a data center developer that owns property in a residential zoning district and wins a substantive validity challenge, it must be permitted to develop its property for a data center, even if it is not compatible with the surrounding residential uses.

While this does not equate to *carte blanche* for a developer to build whatever it wants, it does mean that the municipality no longer controls where the use can be located.

What Should Municipalities Do?

The threat of a substantive validity challenge is not just theoretical. Data center development is moving with extraordinary speed and is well-funded, placing enormous pressure on municipalities, some of whom are being caught unawares. Consequently, many municipalities that are in data center developers’ crosshairs lack zoning ordinances addressing this use. This is a recipe for validity challenges, and data center developers have already used them, or the threat of them, to intimidate municipalities across the state. To eliminate this threat, and to regain control over data center development, municipalities must act quickly to adopt ordinances that address this use.

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There are two options for a municipality. The first is through the standard process for amending a zoning ordinance. The second is to use what is known as the municipal “curative amendment” process.

Under the Pennsylvania Municipalities Planning Code, the curative amendment process gives the municipality some breathing room to fix the problem without the threat of a legal challenge. To start the process, a municipality must take official action to declare its own ordinance invalid and adopt a resolution identifying the deficiencies. Then the municipality may take up to six months to adopt an amendment to “cure” the problem (hence the name “curative” amendment), during which period it does not have to entertain any substantive validity challenge based on the same ordinance defect identified in the resolution.

The catch is that a municipality cannot trigger this process after a validity challenge is filed, and it is only allowed to use it once every three years. Therefore, municipalities must choose when to exercise this option wisely.

What Should Data Center Ordinances Include?

There are several things municipalities should consider when crafting an ordinance to ensure it will be effective.

Definitions

First and foremost, the municipality must decide how a “data center” will be defined for purposes of the zoning ordinance. When doing this, it is useful to remember that the purpose of a zoning ordinance definition is not to provide an encyclopedic description of a use, but to identify the essential . . . Zoning, Water & Energy Usage, and PA Case Studies 34 description of a use, but to identify the essential characteristics that distinguish that use from other uses so that it is clear which zoning regulations apply to it.

Other issues that municipalities should consider when crafting definitions include:

- Whether facilities that include multiple data center buildings warrant unique regulations such that a “data center campus” or similar use should be separately defined;
- Whether similar uses like cryptocurrency (bitcoin) mining should be included within the definition of a data center.

Although these two uses are substantially different from a computing perspective, the characteristics that are relevant to zoning (size, water and septic needs, traffic and noise generated, etc.) may be similar enough that they can be considered the same use for zoning purposes. PennFuture has developed a Model Ordinance for Data Centers that

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includes a helpful core definition as well as language addressing many of the important considerations set forth herein.

Power Generation

In crafting an ordinance, a municipality also must consider whether common secondary components of a data center like electrical substations, cooling towers, water towers, security buildings, wastewater treatment facilities, or on-site power generation facilities (whether gas, solar, wind, or nuclear) will be treated as a component of the data center or will be separately defined and regulated.

The most significant of these potential “secondary” components is power generation, which may not be secondary at all. While data centers generally prefer to connect to and draw power from the grid, where this is not feasible, some may look to generate power onsite. Data centers require very large amounts of power, so the potential exists for sizeable power generation facilities if this is to be used as the data center’s main power source.

Because Pennsylvania decisionmakers are actively promoting and smoothing the way for developing gas-fired power plants, we’re primarily seeing this as the leading on-site power generation. Given that power generation facilities bring a separate set of land use concerns that may not fully align with the concerns related to a data center use, municipalities would be best served by drafting separate ordinance provisions governing these uses rather than treating them as simply accessories to a data center.

Location

There is no one-size-fits-all approach to deciding where to permit data centers—each municipality must take into consideration numerous factors such as available land, the character of different areas of their community, and environmental constraints. In addition, municipalities would do well to take into consideration the fact that developers choose a location for a data center based upon access to power infrastructure.

Data centers can use hundreds of megawatts of electricity, and they typically look for properties that will allow them to easily connect to high-voltage power lines to get that power. It is unlikely that existing zoning districts are organized around electricity infrastructure, so sites with appropriate power access may be located in only a portion of a certain base district or scattered among several.

An overlay district may be a useful tool to address this use. An overlay district is a zoning district that layers on top of all or part of one or more of a municipality’s underlying zoning districts and imposes different zoning rules in the area it covers. The overlay district rules

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may replace some or all of the rules applicable in the underlying district, supplement those rules, or create an optional, alternative set of rules that a landowner may choose to develop under. By employing an overlay district, a municipality can target these sites with access to power—or the subset of them that also has additional suitable characteristics—for data center development without having to include inappropriate sites simply because they are in the same underlying zoning district. Overlay districts may also allow municipalities to keep data centers away from sensitive residential or environmental areas within their boundaries.

Type of Zoning Approval

Requiring conditional use or special exception approval, rather than allowing the use by right, is likely the best choice for data centers in most locations due to the use's potential for creating significant community and environmental impacts and the relative newness and unfamiliarity of the industry.

By-right or permitted uses can be reviewed and approved by a municipality's zoning officer without the involvement of any other local body or the public. If a proposal complies with the zoning ordinance, the zoning officer must approve it as-is, without additional conditions.

Conditional uses and special exceptions require a public hearing to determine whether the proposed use complies with the zoning ordinance. At this hearing, the applicant must present evidence of compliance, and certain members of the public are entitled to question an applicant's witnesses and to introduce their own evidence with respect to the proposal. The decision-making body may impose additional conditions to approval that go beyond the requirements in the zoning ordinance if evidence presented at the hearing gives them reason to believe that such conditions are necessary to protect the public health, safety, and welfare.

Additional Standards

An effective data center ordinance will address the top-level concerns with most data centers including power usage, water consumption, and noise.

Power Usage

Data centers' power consumption and its effect on other customers' electricity rates is among most Pennsylvanians' top concerns when it comes to data centers. However, this is a concern that municipalities have very little power to address, especially when the power is not generated on-site. Regulation of the electric grid and energy prices occurs at the state level or higher, and municipalities are

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prohibited from regulating when and where an electricity user is permitted to connect to the grid, how much energy it uses, or the cost of electricity.

Water Withdrawals

The main use of water in data centers is for cooling servers and other digital infrastructure to prevent overheating and loss of function. How much water any given data center uses will depend on the size of the facility, the type of equipment it houses (for example, AI processors generate more heat than non-AI processors), the type of cooling system employed, and climate. Water usage can range from amounts comparable to a small office building to many hundreds of thousands or even millions of gallons per day.

It is worth noting that this is only considering the impacts from the data center cooling itself. On-site fracked gas power generation could more than double the impact. Consequently, municipalities should consider ordinance provisions that require developers to demonstrate that these withdrawals will not adversely impact existing wells, surface waters, or groundwater resources.

Where the data center will be served by a public water utility, this can likely be accomplished by requiring the developer to provide a “will-serve” letter from the utility verifying that it can supply enough water to meet the data center’s requirements. Where a data center intends to use non-public water sources, municipalities should require that developers submit a study providing information about the anticipated water withdrawals, how that need will be met, and what impact, if any, the water withdrawals will have on nearby water resources.

Municipalities should also be aware of state and other regulations relating to water withdrawals, and, in some cases, the lack thereof. Municipalities should be aware that DEP does not regulate private wells in the way one might think. Once a well is drilled, DEP does not issue permits, impose limits on how much water can be withdrawn, or monitor impacts on surrounding wells or surface waters. Therefore, municipalities cannot assume that issues with water withdrawals will be caught and remedied by DEP.

Municipalities should also be aware that water withdrawals above a certain threshold may be regulated by an interstate river basin commission, preempting local regulation.

A Path Forward for Municipalities

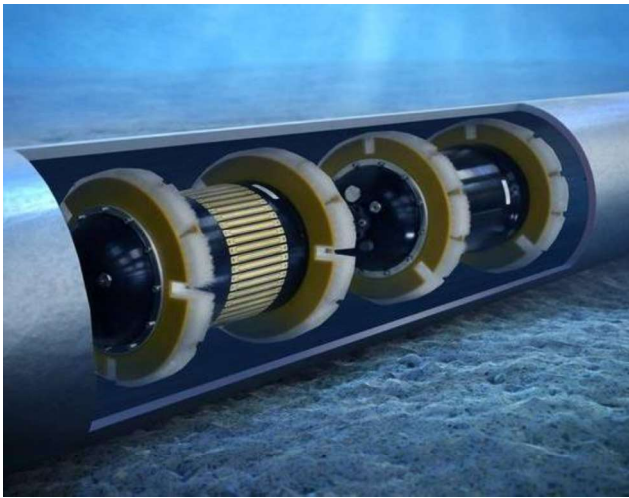
Excerpt from article appearing in 2/24/2026 edition of PML's *Municipal Reporter*

Municipalities may not be able to stop data center development outright, but our local government has significant authority to regulate data centers to mitigate the impact of these facilities and accompanying gas-fired power plants on local residents, the character of the community, and the environment. Utilizing the considerations outlined above, we encourage municipalities to step up and chart their own path forward for the health of their local economy and community.

Donna Kohut - As the Policy Manager for Sustainable Economics, Donna leads PennFuture's cross-cutting work related to connecting clean air, clean water, and climate progress with economic growth and community development. She engages across PennFuture's statewide campaigns, working with those teams on tactics, policies, content creation, and other tactics to advance sustainable development as a core environmental indicator in Pennsylvania.

Brigitte Meyer - Brigitte is a Staff Attorney in PennFuture's Pocono Office. Brigitte's work focuses on water quality and watershed protection, special protection waters, and stormwater management. Prior to joining PennFuture, Brigitte was an Associate Attorney at Siana Law in Chester Springs, Pennsylvania, where her work focused on municipal and land use law. Brigitte currently also serves as Tobyhanna Township Supervisor in Monroe County.

Columbia Gas of Pennsylvania, Inc. D-10132 In-line Inspection (ILI) Project



Columbia Gas of Pennsylvania, Inc. is retrofitting a natural gas pipeline in State College, PA.

This multi-phase project will enable Columbia Gas to use an in-line inspection (ILI) tool that travels inside the pipeline to detect issues such as corrosion or damage. By identifying potential problems early, Columbia Gas can maintain system integrity and ensure dependable service for its customers.

Project Scope of Work

To allow the inspection tool to travel through the pipeline in one continuous run, Columbia Gas will complete the following work:

- **Phase I:** Replace select pipeline fittings along the pipeline to ensure the inspection tool can traverse the system. This includes upgrading sharp bends to wider-radius bends. Columbia Gas will also complete station improvements at its site known as Pleasant Gap Point-of-Delivery (POD) located along Weaver Hill Road in Bellefonte, PA, which will allow the inspection tool to be placed into the pipeline.
- **Phase II:** Upgrade approximately 5,200 linear feet of existing 8-inch pipeline to new 12-inch pipeline in the fields near Mount Nittany Medical Center. Columbia Gas will also complete station improvements at its site known as Porter Road Regulator Station along Porter Road in State College, PA, which will allow the inspection tool to exit the pipeline.
- **Phase III:** Once the Phase I and Phase II improvements are complete, the entire pipeline will have a consistent diameter, enabling the inspection tool to travel the full length in a single, uninterrupted pass. The inspection itself will take place during Phase III.

Restoration and Construction

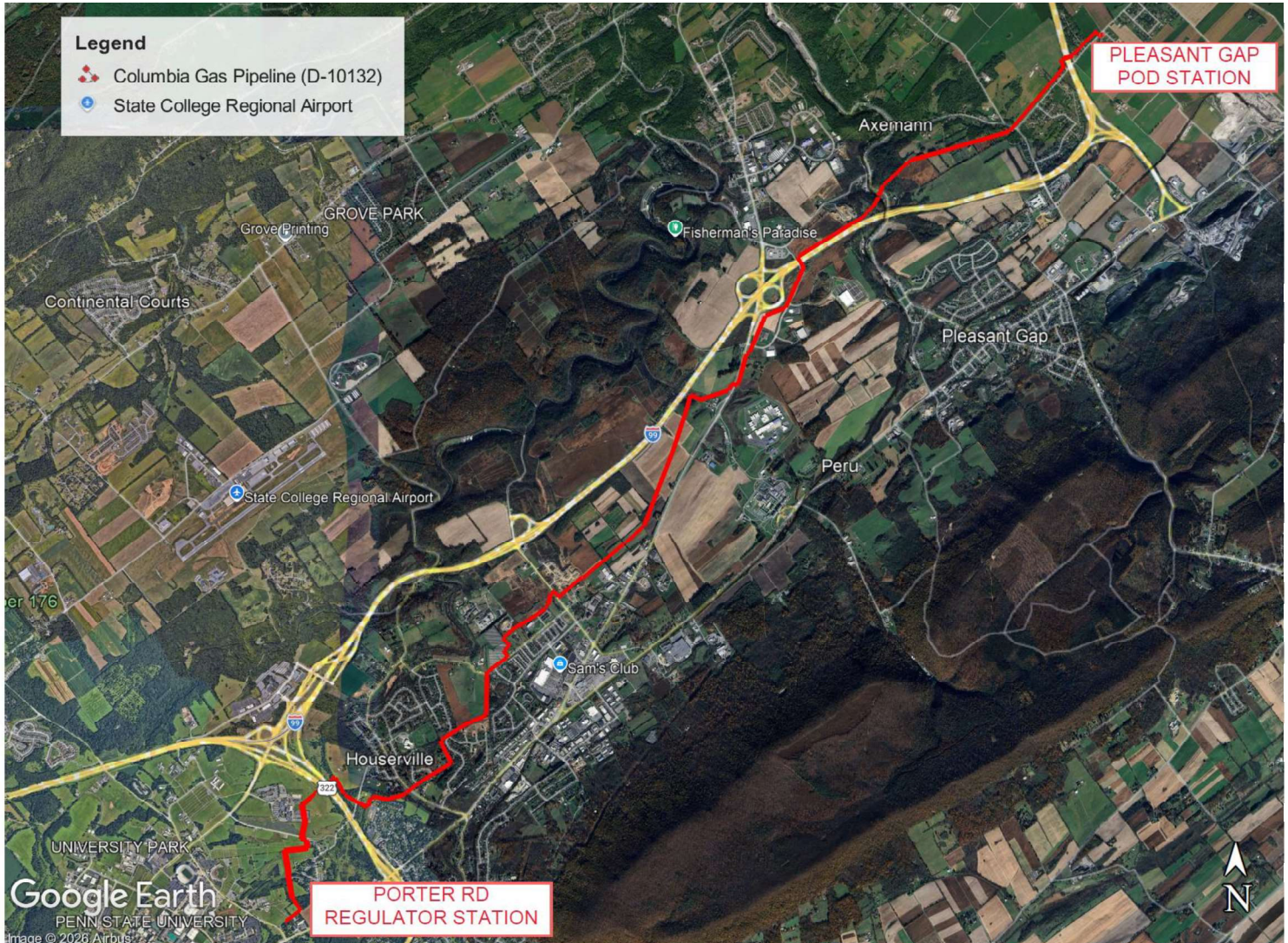
- Any disturbed areas will be restored to pre-project conditions once work is complete. Roads, sidewalks, and other rights-of-way will be restored in accordance with local permits and municipal ordinances.
- Construction will be performed by a Columbia Gas contractor.



Columbia Gas of Pennsylvania, Inc. D-10132 In-line Inspection (ILI) Project



Project Map



Project Schedule*

- Phase I:** Spring 2026 through Fall 2026
- Phase II:** Spring 2027 through Fall 2027
- Phase III:** Spring 2028
- Project completion:** Fall 2028

**Tentative. Project duration may be impacted by weather and/or unforeseen construction impediments in existing ground conditions.*

Work Hours and Traffic Impact

- Work Hours:** 7:00 a.m. to 5:00 p.m.
- Work Days:** Monday through Saturday. Sunday work may occur if needed.

Traffic Safety: Traffic control measures, such as lane closures and detours, will be in place during work hours.



Adam, Please Share with All Supervisor ^{SI-5}
for College Township..

Please join us

Boalsburg Fire Company Awards Banquet

On Saturday, April 4th 2025

Received

FEB 24 2026

College Township

Mountain View Country Club

310 Elks Club Road

Boalsburg

5pm - Social Hour

6pm - Dinner



Please RSVP by March 14st

Teresa Weyant

814-280-3133